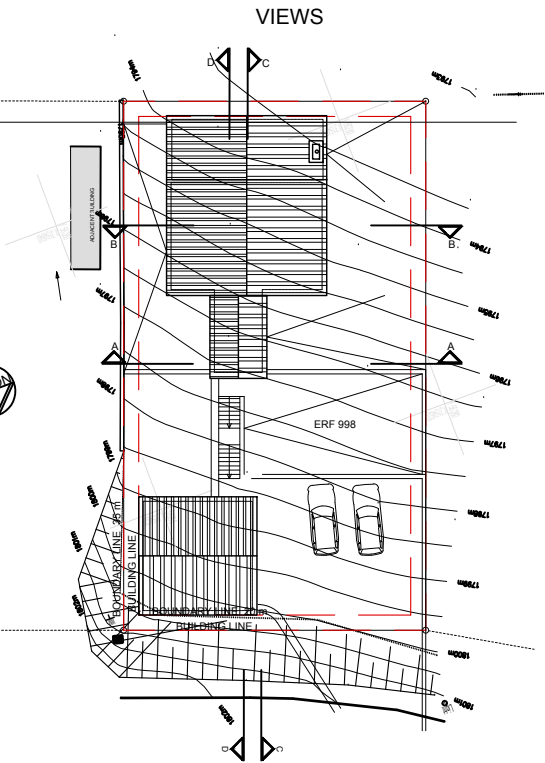
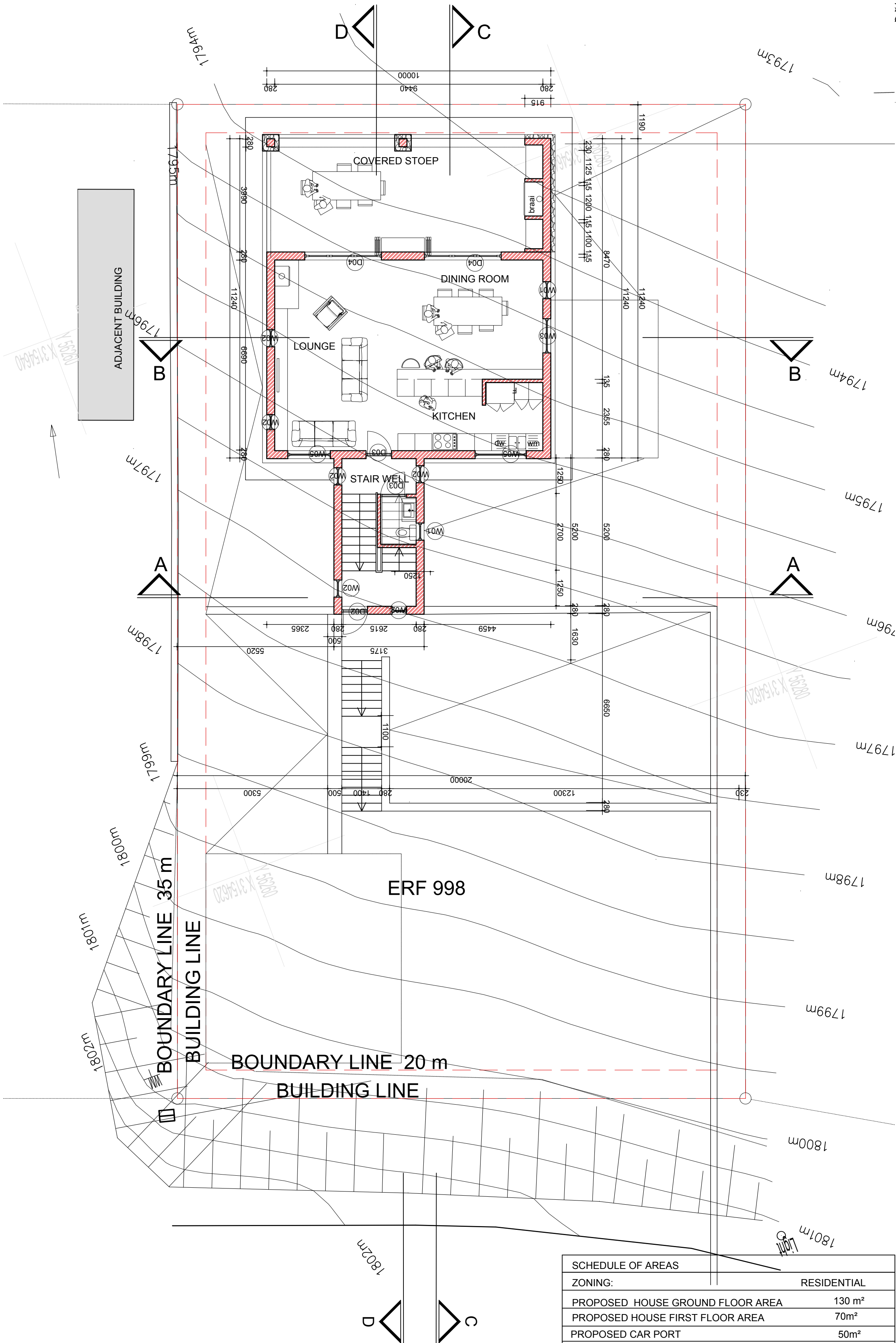


VIEWS



SITE PLAN
SCALE 1: 500

NOTES:
These drawings are copyright of JLR Architects.
All dimensions, levels and site conditions are to be checked before any work commences, and any discrepancies are to be reported to the Architect immediately.

All work to be done in accordance with latest edition of the National Building Regulations and SANS 10400 parts A to XA, including 204 - energy efficiency in buildings.

Use figure dimensions only - do not scale.
Please read the specification document before any work is tendered for or carried out.

WALL NOTES:
NEW EXTERNAL (HABITABLE AREAS): in accordance with SANS 10400 XA Min CR Value = 100, Min R Value 0,35. Wall ties to conform with SANS 10400 K 4.2, every 5 courses, not less than 5 per m sq. At ground floor, stepped DPC to comply with SANS 248, 298, or 952-1, to all perimeter walls at minimum 150mm from ground level with weep holes at one meter centres in course immediately above outer DPC as per SANS 10400 K 4.5.34

All external walls, unless otherwise marked, to be smooth plastered, primed and painted Dulux Weatherguard.

All internal walls, unless otherwise marked to be smooth plastered, primed and painted Dulux Luxurious Silk.

ROOF NOTES:
New Chromadek corrugated metal roof min 0.65mm on SAP timber trusses, all to engineer's drawings. Aerolite insulation or similar to underside of sheets. New seamless gutters and down pipes, to match roof, to NBR & 10400R

CEILING NOTES:
All new ceilings to be flat, 9mm Nutec board ceilings, at height shown, and painted Dulux Brilliant White, 2 coats.

FLOOR NOTES:
Living Areas: Earthworks Rapid Clic 5mm PVC Wood Vinyl on foam rubber underlay, colour TBC, on new 45mm screed with expansion joints every 2,5metres, on 100mm concrete surface bed, with Y12 reinforcement mesh on 100mm polystyrene insulation on SABS DPM overlapped by 50mm at joints and turned up to 150mm above FFL around all slab edges, on well compacted soil To comply with 10400 J and SANS 204. Surface beds to comply with 10400 B and 10400 H and SABS 082. All to engineers specification.

Bathrooms:
Tiled. see notes to shower for details of fall and waste.

Bedrooms:
Carpet TBC.

All ground floors to have soil insecticides to comply with SANS 10124, and the whole building injected with insecticides by specialists.

STOEPS:
230mm facebrick walls used as shutters. 45mm screed with expansion joints every 2,5metres, on 100mm concrete surface bed, with Y12 reinforcement mesh, on SABS DPM overlapped by 50mm at joints and turned up around all slab edges, on well compacted soil To comply with 10400 J and SANS 204. Surface beds to comply with 10400 B and 10400 H and SABS 082. All to engineers specification

BALUSTRADE:
new steel 1m high to SANS 0400 Part B1 and D. Steel round tube on steel round tube uprights on brick walls, as shown.



LOWER FLOOR PLAN
SCALE 1: 100

SCHEDULE OF AREAS		
ZONING:	RESIDENTIAL	
PROPOSED HOUSE GROUND FLOOR AREA	130 m ²	
PROPOSED HOUSE FIRST FLOOR AREA	70m ²	
PROPOSED CAR PORT	50m ²	
TOTAL NEW BUILT AREA	248m ²	
SITE AREA	700m ²	
ACTUAL COVERAGE - GROUND FLOOR	20%	130m ²
ACTUAL F.A.R.	1: 0,5	130m ²
HEIGHT	2 FLOORS	
PARKING	4 CAR SPACES	

PROJECT:
HOUSE RAHLAO
ERF 998, CLARENS GOLF ESTATE
DRAWN BY:
JLR ARCHITECTS
Tel: 0713664630 SACAP 21380
DATE:
NOVEMBER 2019
COUNCIL SUBMISSION DRAWINGS
2019 02 RAHLAO CONS 03 01