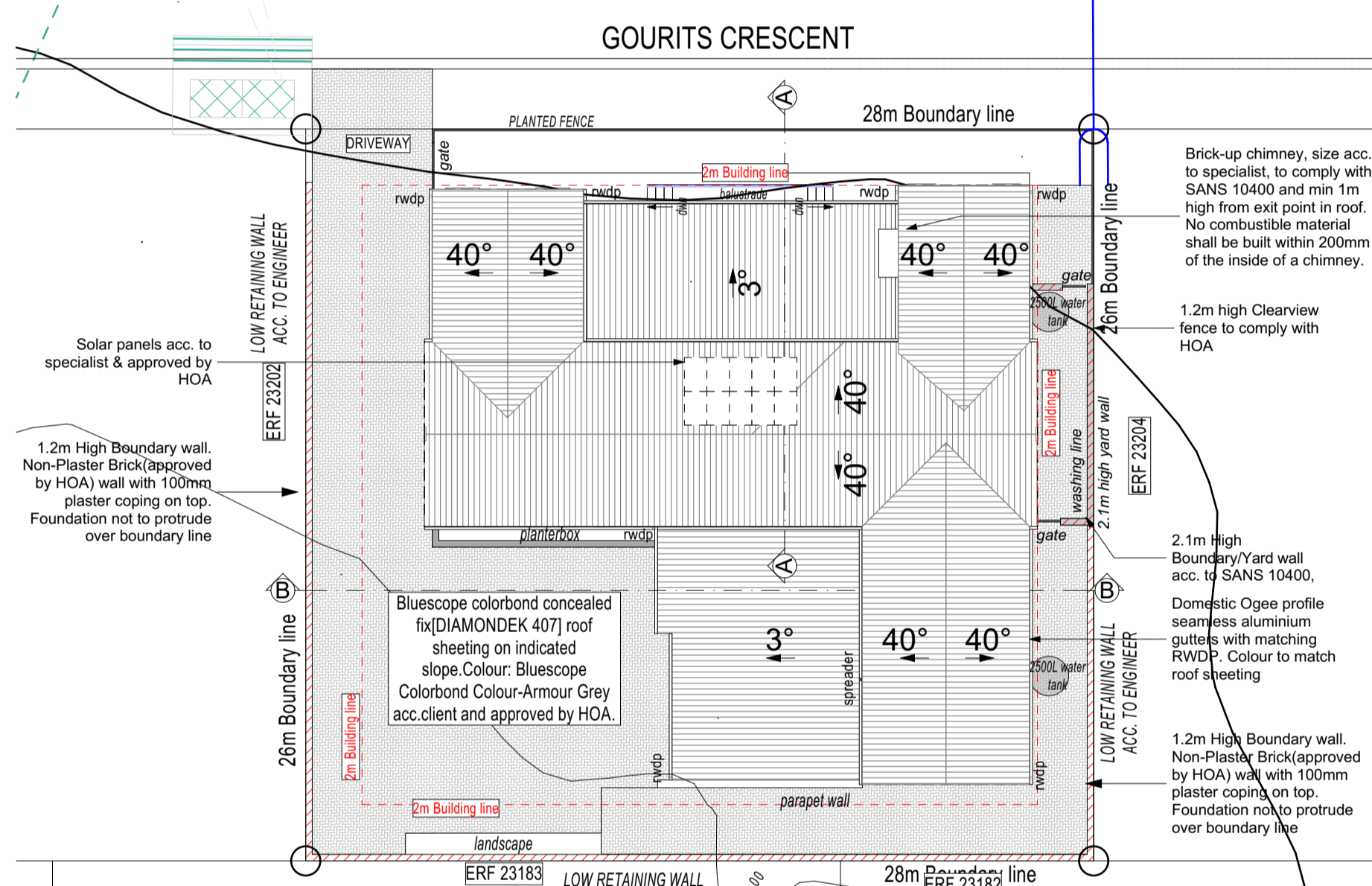
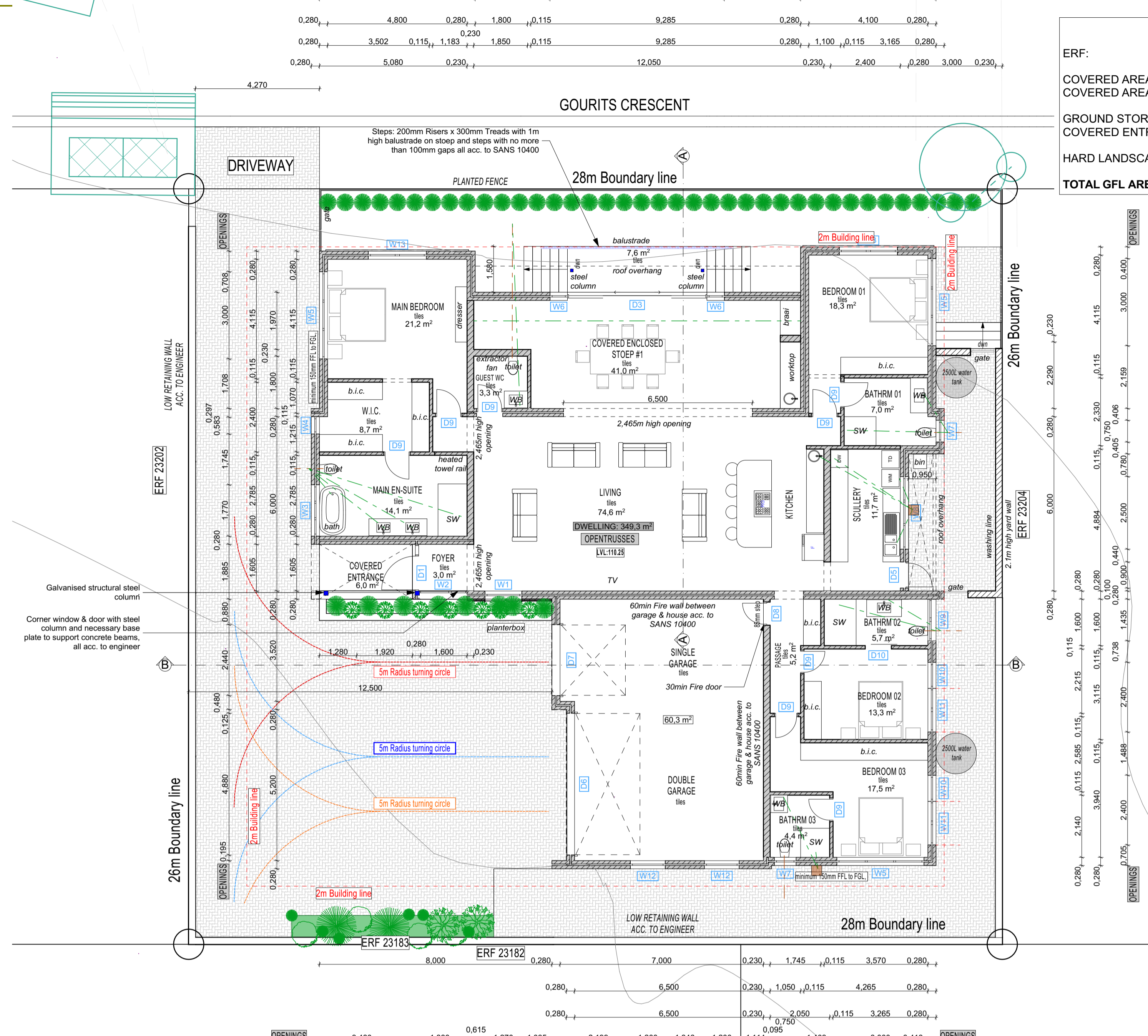


SITE PLAN
1:200



ROOF PLAN
1:200



GROUND STOREY
1:100

AREA SCHEDULE FOR ERF 23203	
ERF:	728m²
COVERED AREA ALLOWED:	60% - 436,8m²
COVERED AREA PROVIDED:	48.8% - 355,5m²
GROUND STOREY:	349,5m²
COVERED ENTRANCE:	6,0m²
HARD LANDSCAPING	69,34m²/9,5% (15% allowed)
TOTAL GFL AREA:	355,5,0m²

RENOSTERBOS LANDGOED

Sg Bothma
SIGNATURE

03/09/2025
DATE

NOTE: No amendments to this drawing or future additions/alterations to this drawing may be made without prior approval of the HOA/DRPEC

SIGNATURE OF OWNER/ CLIENT: _____ DATE: _____

SIGNATURE OF ARCHITECT: _____ DATE: _____
SV de Kock
SACAPS/SA74750417

REVISIONS	
2025-09-02	AS-BUILT DRAWINGS: 1. HOUSE BUILD ON STREET FRONT BUILDING LINE 2. WATER TANK MOVED

DRAWING STATUS
STAGE 4.1 MUNICIPAL DRAWINGS

PROJECT TITLE
AS-BUILT DRAWINGS OF DWELLING ON ERF 23203, RENOSTERBOS FOR ALICENTE 174 CC (V. UYS)

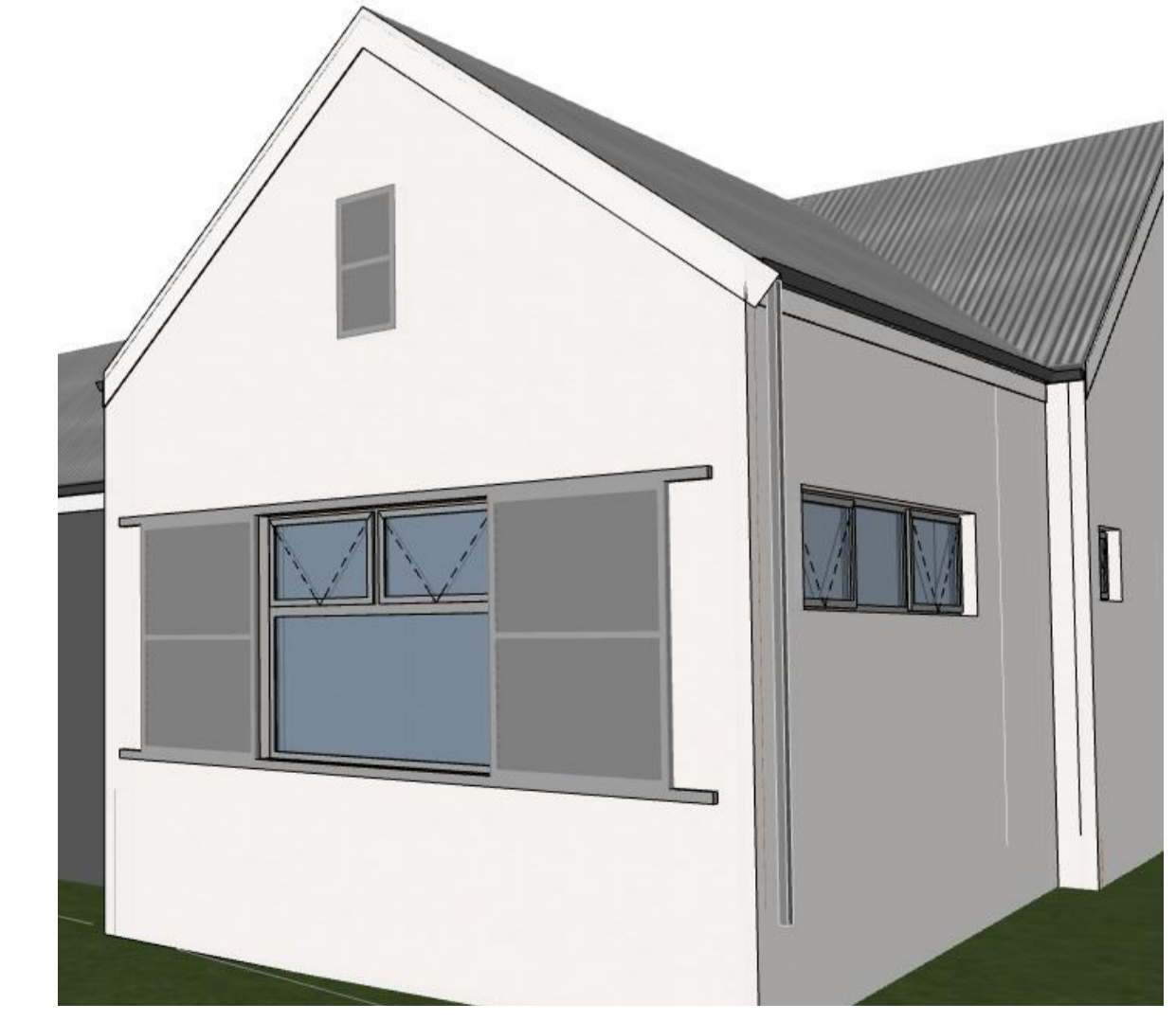
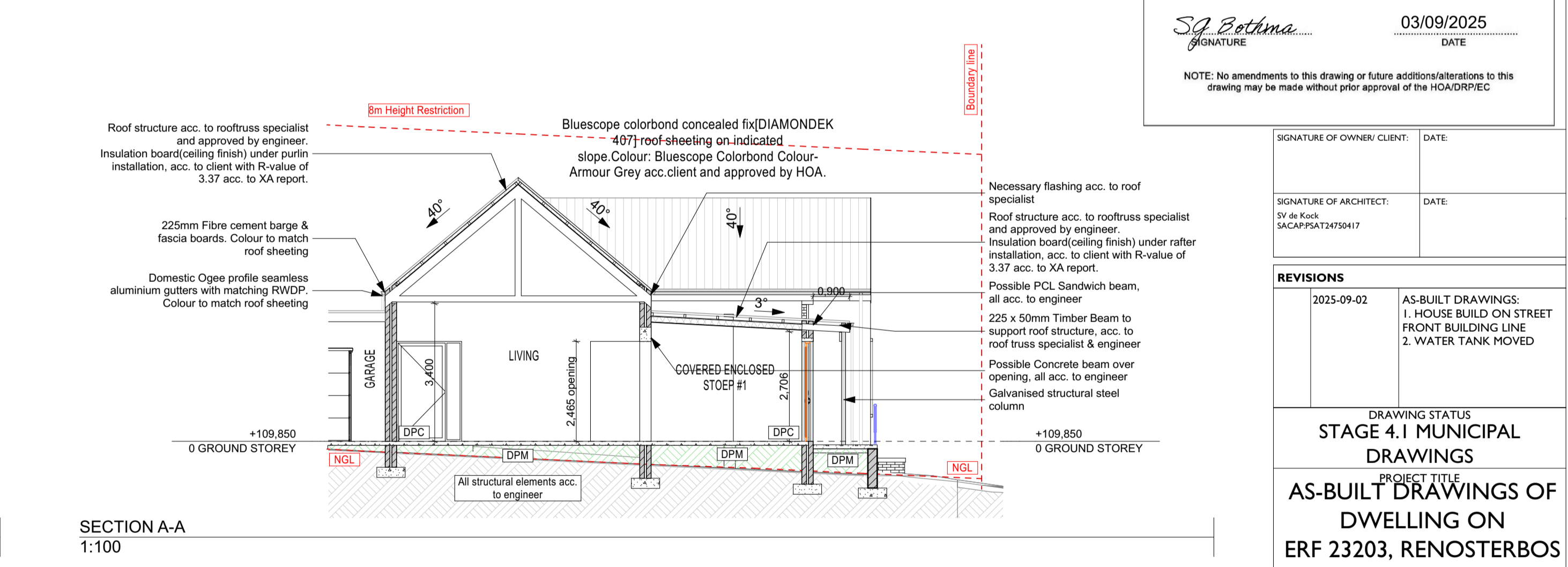
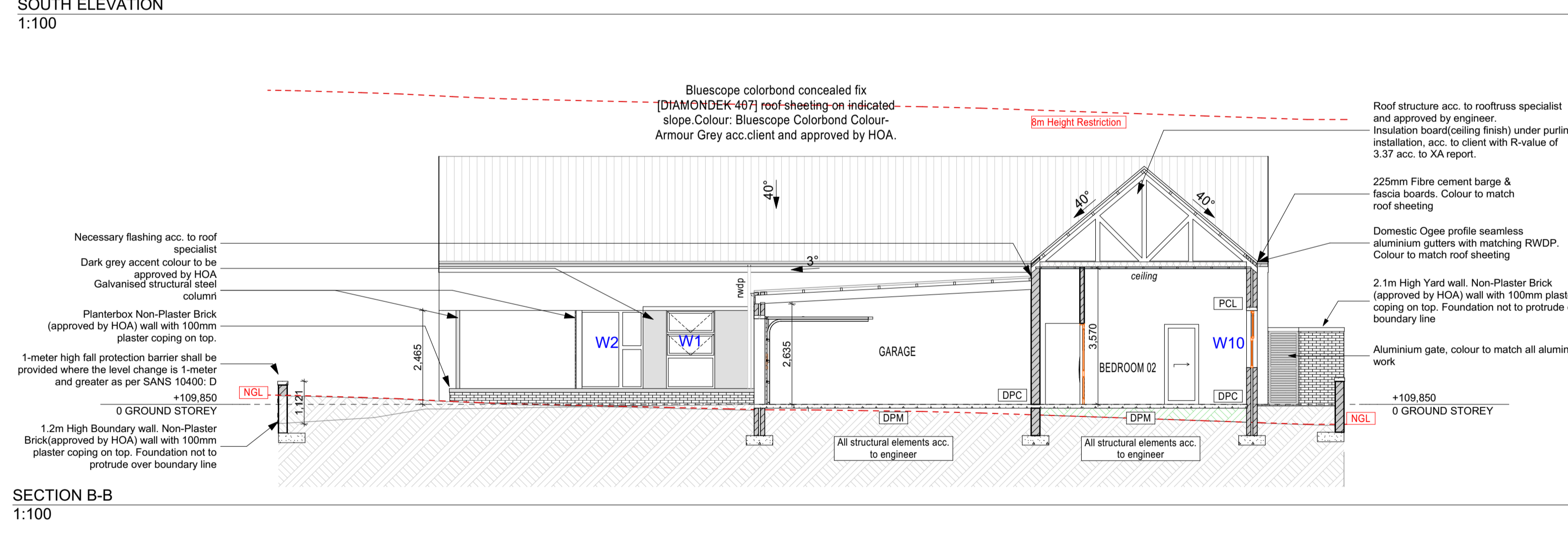
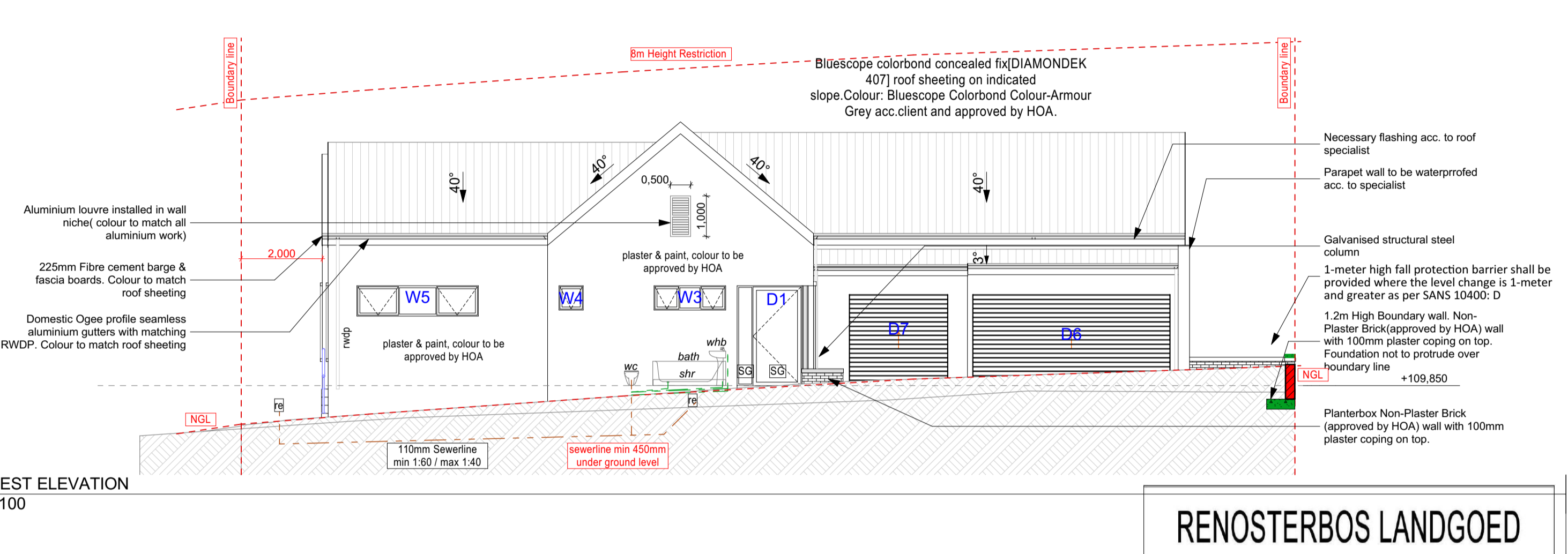
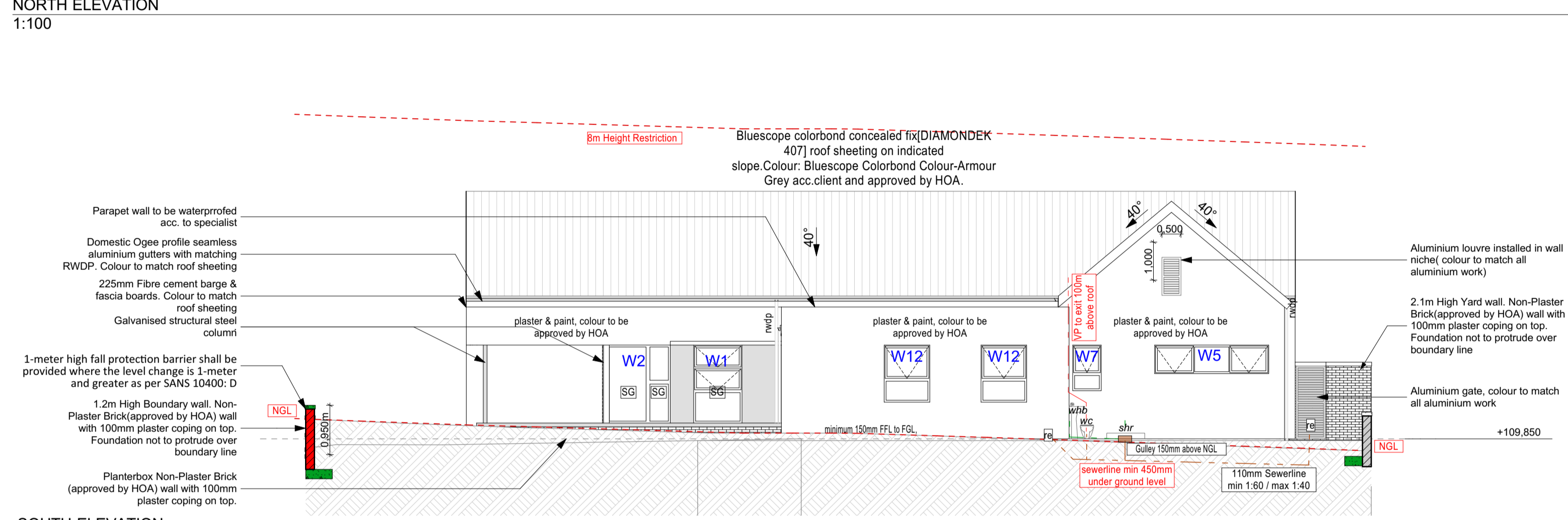
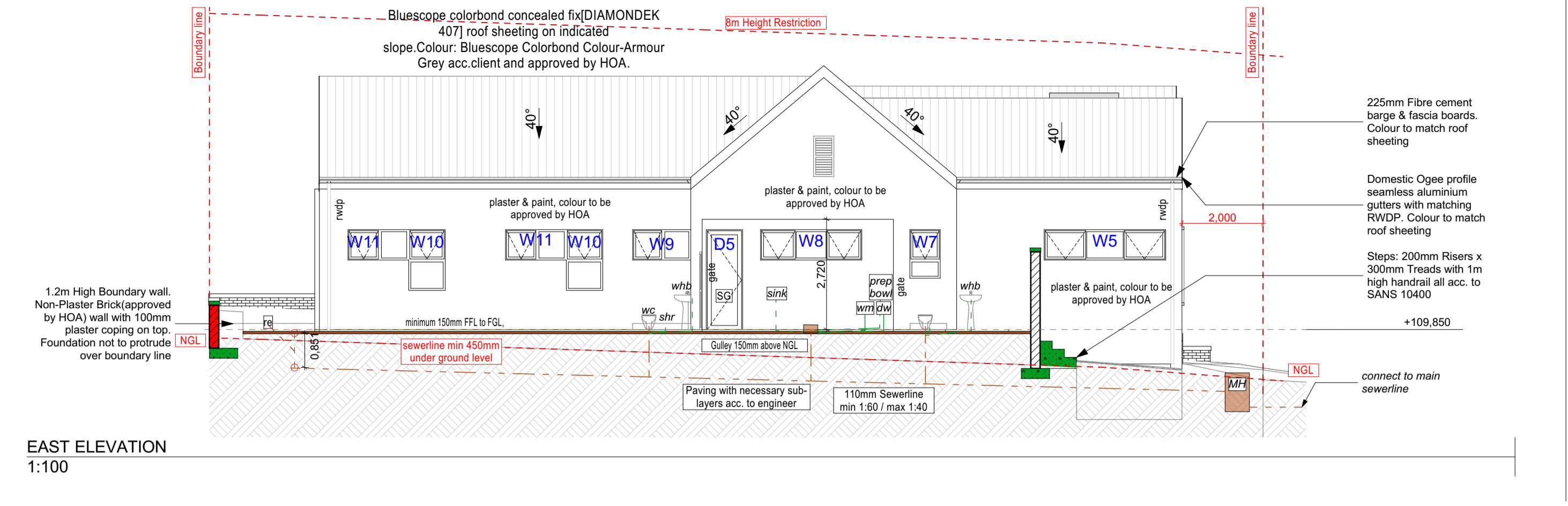
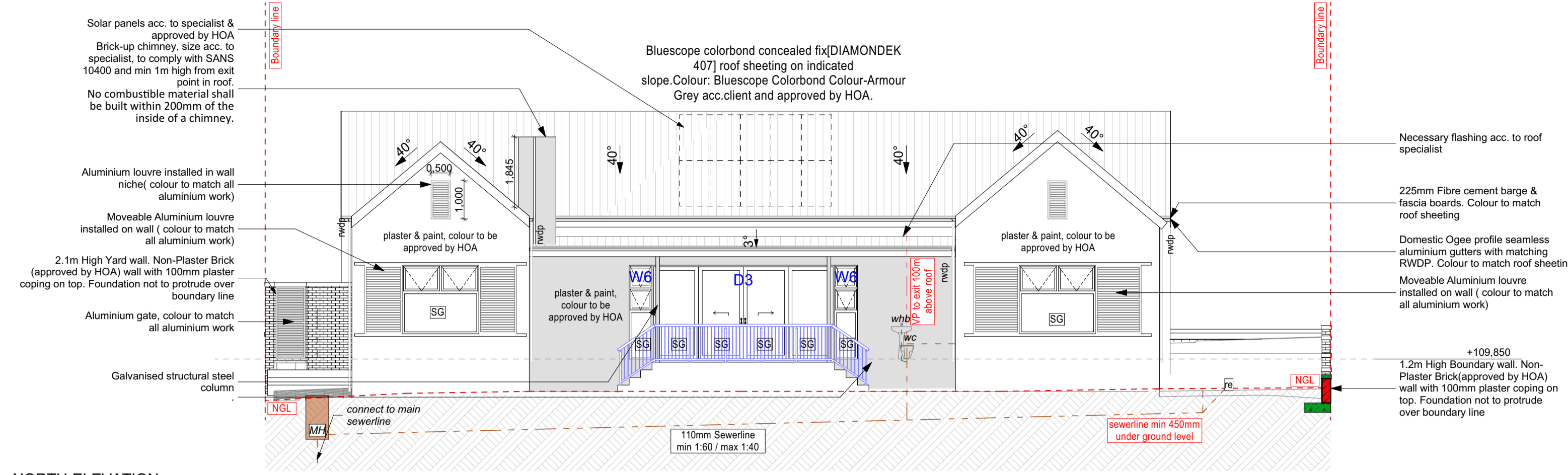
DRAWING DESCRIPTION
Site Plan, Roof Plan & Ground Storey

SCALE	AS SHOWN
DATE	DATE OF 1ST ISSUE
ISSUED	2025/09/02
DRAWN BY	SdK
CHECKED BY	SdK
SNR. ARCHITECTURAL TECHNOLOGIST	SdK



PROJECT NO:	DRAWING NO:	REVISION
2024-16	MD100	00





RENOSTERBOS LANDGOED
03/09/2025
DATE

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SIGNATURE OF OWNER/ CLIENT:	DATE:
SIGNATURE OF ARCHITECT:	DATE:

REVISIONS	DATE	DESCRIPTION
2025-09-02	AS-BUILT DRAWINGS:	1. HOUSE BUILD ON STREET FRONT BUILDING LINE 2. WATER TANK MOVED

DRAWING STATUS
STAGE 4.1 MUNICIPAL DRAWINGS
PROJECT TITLE
AS-BUILT DRAWINGS OF DWELLING ON ERF 23203, RENOSTERBOS FOR ALICENTE 174 CC (V. UYS)

DRAWING DESCRIPTION
Elevations, Section A-A, Section B-B

SCALE	AS SHOWN
DATE	DATE OF 1ST ISSUE
ISSUED	2025/09/02
DRAWN BY	SdK
CHECKED BY	SdK
SNR. ARCHITECTURAL TECHNOLOGIST	SdK

PROJECT NO:	DRAWING NO:	REVISION
2024-16	MD200	00



IES-02 Window Schedule													
Element ID	W1	W2	W3	W4	W5	W6	W7	W8	W9	W10	W11	W12	W13
Quantity	1	1	1	1	3	2	2	1	1	2	2	2	2
W x H Size	1,270x2,050	1,650x2,050	1,770x0,600	0,600x0,600	3,000x0,750	0,600x2,465	0,750x1,200	2,500x0,750	1,435x0,750	0,900x1,500	1,500x0,750	1,200x1,500	2,000x1,800
Head height	2,465	2,465	2,465	2,465	2,465	2,465	2,465	2,465	2,465	2,465	2,465	2,465	2,465
2D Symbol													
View from Side Opposite to Opening Side													

Element ID	D1	D3	D5	D6	D7	D8	D9	D9	D10
Quantity	1	1	1	1	1	1	3	5	1
W x H Size	1,605x2,465	4,800x2,465	0,900x2,465	4,880x2,250	2,440x2,250	0,800x2,125	0,800x2,125	0,900x2,125	0,900x2,100
Sill height	0,000	0,000	0,000	0,000	0,000	0,000	0,000	0,000	0,000
Head height	2,465	2,465	2,465	2,250	2,250	2,125	2,125	2,125	2,100
2D Symbol									
View from Side Opposite to Opening Side									

RENOSTERBOS LANDGOED

Sg Bothma
SIGNATURE

03/09/2025
DATE

NOTE: No amendments to this drawing or future additions/alterations to this drawing may be made without prior approval of the HGA/DRPEEC

SIGNATURE OF OWNER/ CLIENT:	DATE:
SIGNATURE OF ARCHITECT:	DATE:
REVISIONS	
2025-09-02	AS-BUILT DRAWINGS: 1. HOUSE BUILD ON STREET FRONT BUILDING LINE 2. WATER TANK MOVED

FENESTRATION			
SANS 10400XA COMPLIANCE			
Ground Storey	200,09	Fenestration Area of Storey / Room (m ²)	21,92
First Storey	0	% Fenestration Area to Net Floor Area	RDV/01
Second Storey	0	% Fenestration Area to Net Floor Area	RDV/01
Third Storey	0	% Fenestration Area to Net Floor Area	RDV/01
Ground Storey	47,86775	Northern Fenestration Area Total SHGC	0,564
First Storey	0	Ava. SHGC	
Second Storey	0		
Third Storey	0		

DO NOT COMPLY: Greater than 20% Total fenestration area/net floor area for this storey.

FENESTRATION																			
Buildings with Natural Environmental Control: SANS 10400XA																			
Glazing Information																			
Shading as per Clause 5.2																			
Specification as per Clause 5.3																			
Solution																			
Orientation	Storey Level	Glazing Elements	Quantity	Glazing Element Size			Shading as per Clause 5.2						Specification as per Clause 5.3						
				Width (m)	Height (m)	Area	(H) Height (m)	Lat. Multiplier(M)	(G) Height (m)	Required (P)	Measured (P)	(P) Comply	U-value	SHGC	Sum SHGC	Table E.1 Glazing Element	Conductance	ACHIEVED SHGC	
West	Ground Storey	D1	1	1,600	2,465	3,944	2,465	0,540	0,000	1,331	3,600	YES	5,20	0,66	2,60	5,20	0,66	COMPLY	COMPLY
West	Ground Storey	W3	1	1,770	0,600	1,062	2,465	0,540	1,865	1,331	0,100	NO	5,20	0,49	0,52	5,20	0,49	COMPLY	COMPLY
West	Ground Storey	W4	2	0,600	0,600	0,720	2,465	0,540	1,865	1,331	0,100	NO	5,20	0,49	0,35	5,20	0,49	COMPLY	COMPLY
West	Ground Storey	W5	1	3,000	0,750	2,250	2,465	0,540	1,715	1,331	0,100	NO	5,20	0,49	1,10	5,20	0,49	COMPLY	COMPLY
North	Ground Storey	D2	1	2,400	2,465	5,916	2,465	0,540	0,000	1,331	0,100	NO	5,20	0,49	2,90	5,20	0,49	COMPLY	COMPLY
North	Ground Storey	W6	2	0,600	2,465	2,958	2,465	0,540	0,000	1,331	1,000	NO	5,20	0,49	1,45	5,20	0,49	COMPLY	COMPLY
North	Ground Storey	D3	1	4,800	2,465	11,832	2,465	0,540	0,000	1,331	1,000	NO	5,20	0,49	5,80	5,20	0,49	COMPLY	COMPLY
North	Ground Storey	D4	1	2,400	2,465	5,916	2,465	0,540	0,000	1,331	0,100	NO	5,20	0,49	2,90	5,20	0,49	COMPLY	COMPLY
East	Ground Storey	W5	1	3,000	0,750	2,250	2,465	0,540	1,715	1,331	0,100	NO	5,20	0,49	1,10	5,20	0,49	COMPLY	COMPLY
East	Ground Storey	W7	1	0,750	1,200	0,900	2,465	0,540	1,265	1,331	0,100	NO	5,20	0,49	0,44	5,20	0,49	COMPLY	COMPLY
East	Ground Storey	W8	1	2,500	0,750	1,875	2,72	0,540	1,970	1,463	1,230	NO	5,20	0,49	0,32	5,20	0,49	COMPLY	COMPLY
East	Ground Storey	D5	1	0,900	2,465	2,219	2,72	0,540	0,255	1,463	1,230	NO	5,20	0,49	1,09	5,20	0,49	COMPLY	COMPLY
East	Ground Storey	W9	1	1,435	0,750	1,076	2,465	0,540	1,715	1,331	0,100	NO	5,20	0,49	0,53	5,20	0,49	COMPLY	COMPLY
East	Ground Storey	W10	2	0,900	1,500	2,700	2,465	0,540	0,965	1,331	0,100	NO	5,20	0,49	1,32	5,20	0,49	COMPLY	COMPLY
East	Ground Storey	W11	2	1,500	0,750	2,250	2,465	0,540	1,715	1,331	0,100	NO	5,20	0,49	1,10	5,20	0,49	COMPLY	COMPLY
South	Ground Storey	W5	1	3,000	0,750	2,250	2,465	N/A	1,715	N/A	0,100	N/A	5,20	Any Solution	Any Solution	5,20	0,66	COMPLY	COMPLY
South	Ground Storey	W7	1	0,750	1,200	0,900	2,465	N/A	1,265	N/A	0,100	N/A	5,20	Any Solution	Any Solution	5,20	0,66	COMPLY	COMPLY
South	Ground Storey	W1	1	1,270	2,050	2,604	2,465	N/A	0,415	N/A	0,100	N/A	5,20	Any Solution	Any Solution	5,20	0,66	COMPLY	COMPLY
South	Ground Storey	W2	1	1,650	2,050	3,383	2,465	N/A	0,415	N/A	0,100	N/A	5,20	Any Solution	Any Solution	5,20	0,66	COMPLY	COMPLY

DRAWING STATUS
STAGE 4.1 MUNICIPAL DRAWINGS

PROJECT TITLE
AS-BUILT DRAWINGS OF DWELLING ON ERF 23203, RENOSTERBOS FOR ALICENTE 174 CC (W. UYS)

DRAWING DESCRIPTION
WINDOW & DOOR SCHEDULE

SCALE	AS SHOWN
DATE	DATE OF 1ST ISSUE
ISSUED	2025/09/02
DRAWN BY	SdK
CHECKED BY	SdK
SNR. ARCHITECTURAL TECHNOLOGIST	SdK

SAS ARCHITECTURE
COMMODITY FIRMNESS DELIGHT
Garmon de Kock Senior Architectural Technologist 508 285 1848
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PROJECT NO:	DRAWING NO:	REVISION
2024-16	MD500	00