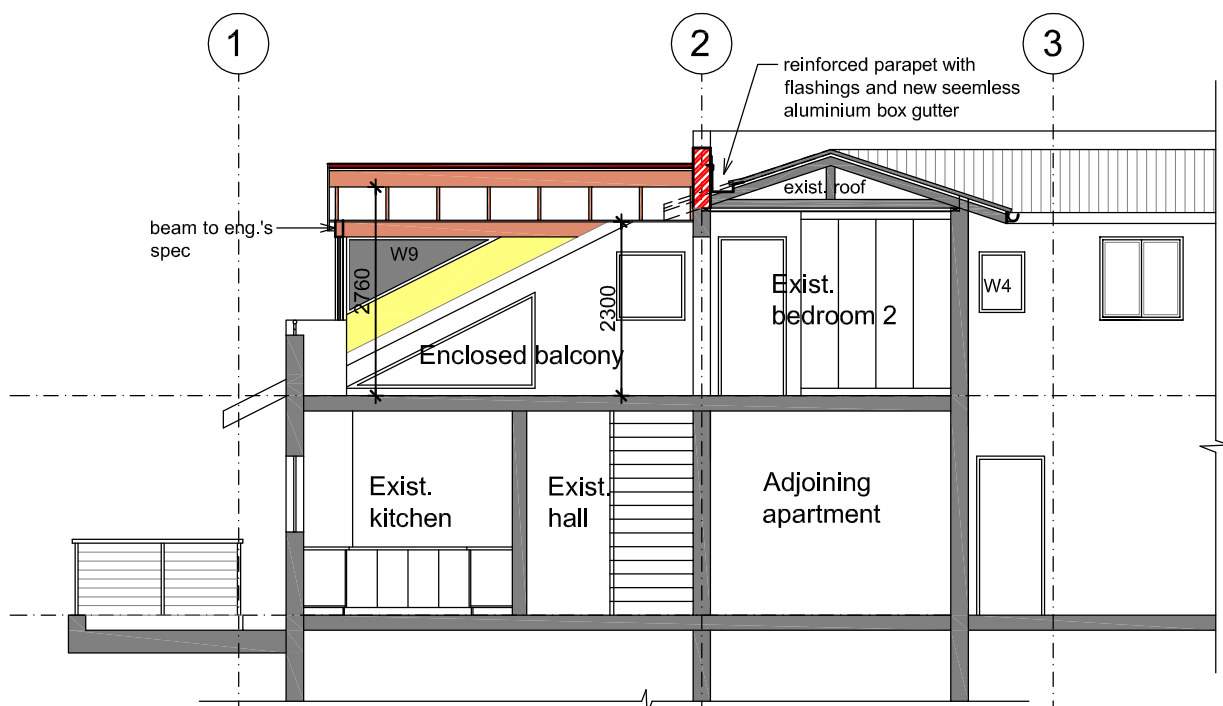
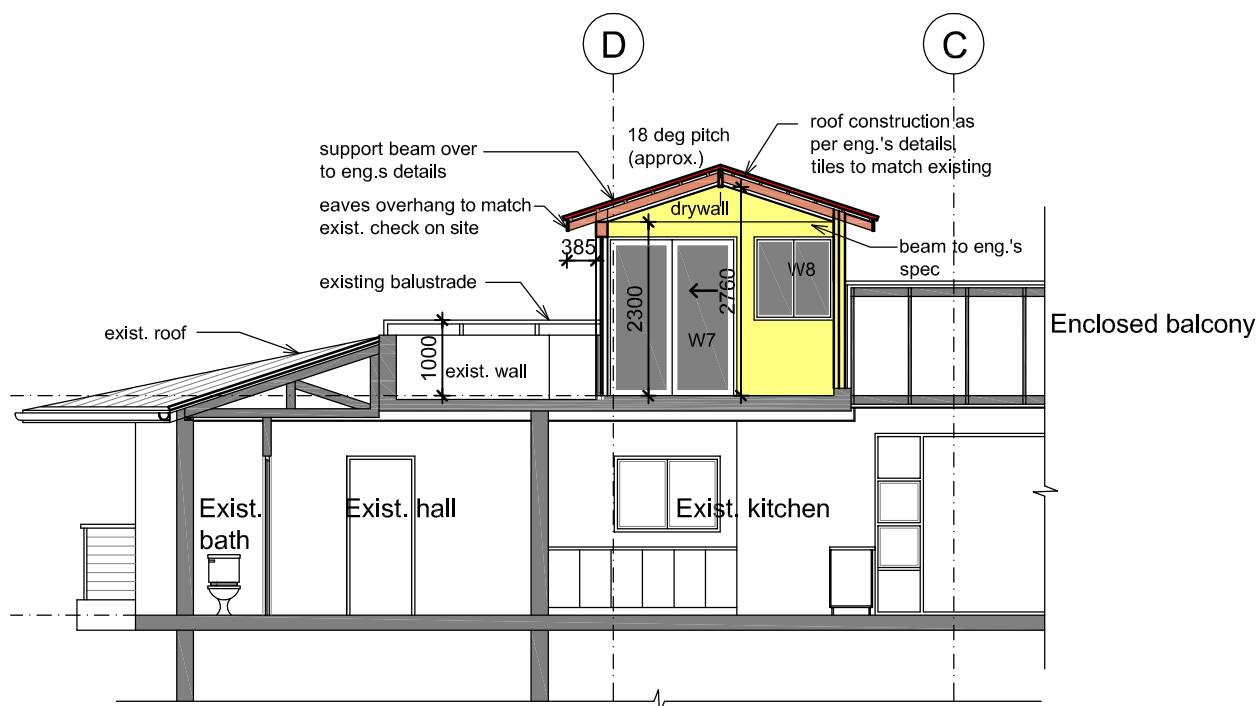
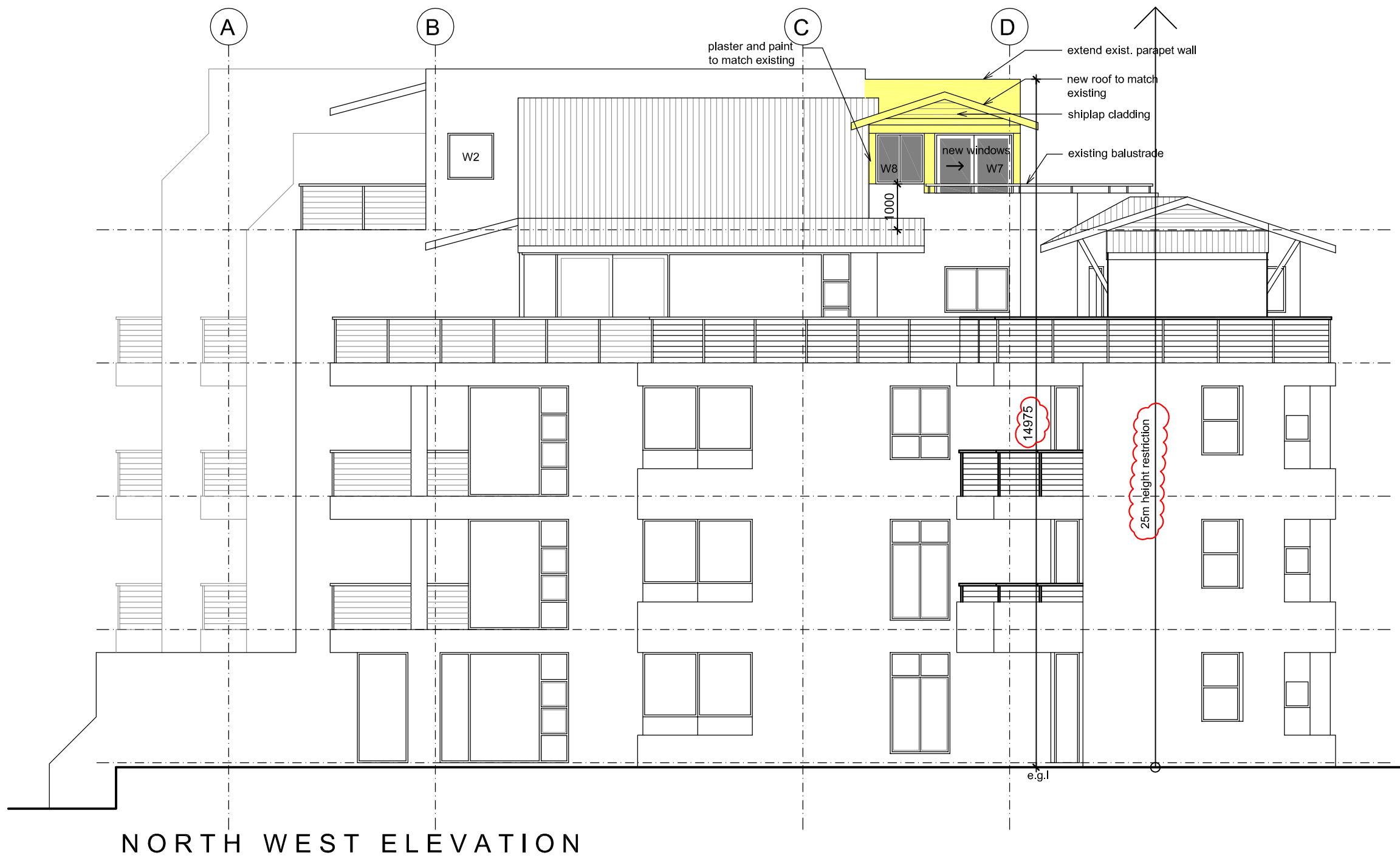
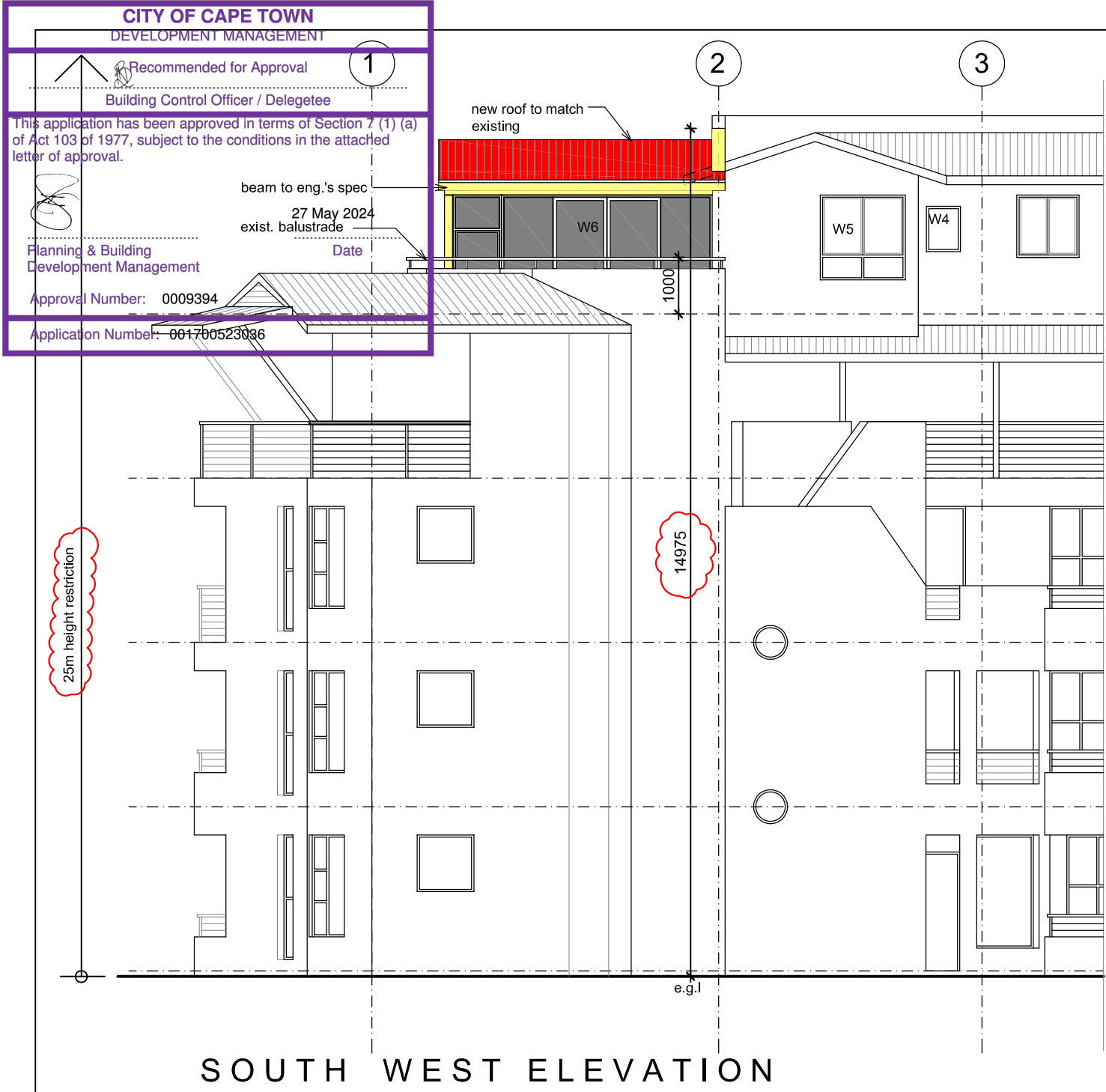




GENERAL NOTES

Main roof: - (covered entrance)
18 deg roof pitch to match existing, R-value 3.7
Roof tiles to match existing on 38x38mm battens at 345mm c/c on alububble insulation (as per sans 10177) on rafters and ridge beam to engineers details secured with 12m x 30mm galv. hoop-iron straps built min. 600mm into brickwalls. All portions of structural timber build into walls are to be encased in a damp-proof membrane. 38 x 114mm S.A.P wallplate bedded in mortar with galvanised hoop iron straps built 600mm into brickwork. 150 x 32mm timber fascias to match existing.

Ceilings: -
Think pink aerolite insulation thickness as per zone 4 in accordance with Sans 204 and in accordance with Sans 10400 XA on 38 x 38mm S.A.P ceiling brading at 400mm centres fixed with 80mm galvanised wire nails. 6.4mm gypsum board ceiling fixed to ceiling brading with 30mm galvanised iron clout nails at 100mm centres along intermediate brading. Gypsum plaster covered cornice. Skimmed joints.

Walls: -
Brickwork to match existing.

Walls: - (timber frame construction)
Shiplap hand plank cladding to exterior. 12.7mm rhinoboard cladding skimmed and painted internally. All walls to be insulated with Isotherm to comply with XA. 76 x 38mm studs and rails to be at max. 450mm centres. Timber structure to comply with SANS 10 082. 80mm Isotherm R-value 1.9 min.

Lintols:-
Timber beams over windows to eng.'s details.

Ventilation: -
Aluminium windows and doors to comply with Part N SABS 0400. Seal around all windows with secomastic and form 15mm plaster drip over window heads with precast concrete lintols laid to manufacturer's specification.

Glazing to comply with Sans 10400 part n and Sans 10137. All glazing thickness and safety glazing to be in accordance with Sans 10400 N. The maximum air leakage for windows and doors shall comply with the requirements of Sans 613. All doors and windows to be sealed with foam or rubber of fibrous seals as per Sans 10400 part XA.

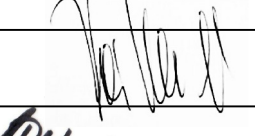
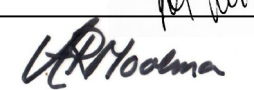
Body Corporate notes:-
White aluminium windows to match existing. All disturbed exterior work and finishes to be reinstated to the satisfaction of the body corporate or their appointed agent.

All materials should comply with the relevant S.A.B.S. specification. All screws and fastener devices and all having component parts which are exposed shall be non-corrosive material compatible with aluminium.

MAKE WORK GOOD IN ALL TRADES. CHECK DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY WORK.

WINDOW SIZES - EXISTING				
Total internal area: 67.5m². Allowable glazing 20% = 13.5 m²				
Aluminium windows:	Direction:	Area:	Overhang:	
V1 (exist.)	2090 x 820mm	north east	1.71	125mm
V2 (exist.)	1000 x 1000mm	north west	1.0	125mm
V3 (exist.)	3600 x 2400mm	north east	8.64	125mm
V4 (exist.)	600 x 800mm	south west	0.48	125mm
V5 (exist.)	1500 x 1500mm	south west	2.25	125mm
V6	4580 x 2100mm	south west	9.61	425mm
V7	1710 x 2100mm	north west	3.59	40mm
V8	1050 x 1100mm	north west	1.15	40mm
V9	1480 x 550mm	north east	0.81	425mm
TOTAL			29.24	

NOTE:
1. This drawing is copyright of the architects. do not scale this drawing.
2. All dimensions are in mm unless otherwise indicated all levels and dimensions to be checked on site report all discrepancies to the architect immediately.
3. All drainage penetrations through floor slabs, columns, walls and downstand beams to be verified with structural engineer, plumbing contractor and approved by architect.
4. All door and window openings to be in accordance with door and window schedules. Any discrepancies to be reported immediately to the Architect.

Owner / Representative: 
Architect: 



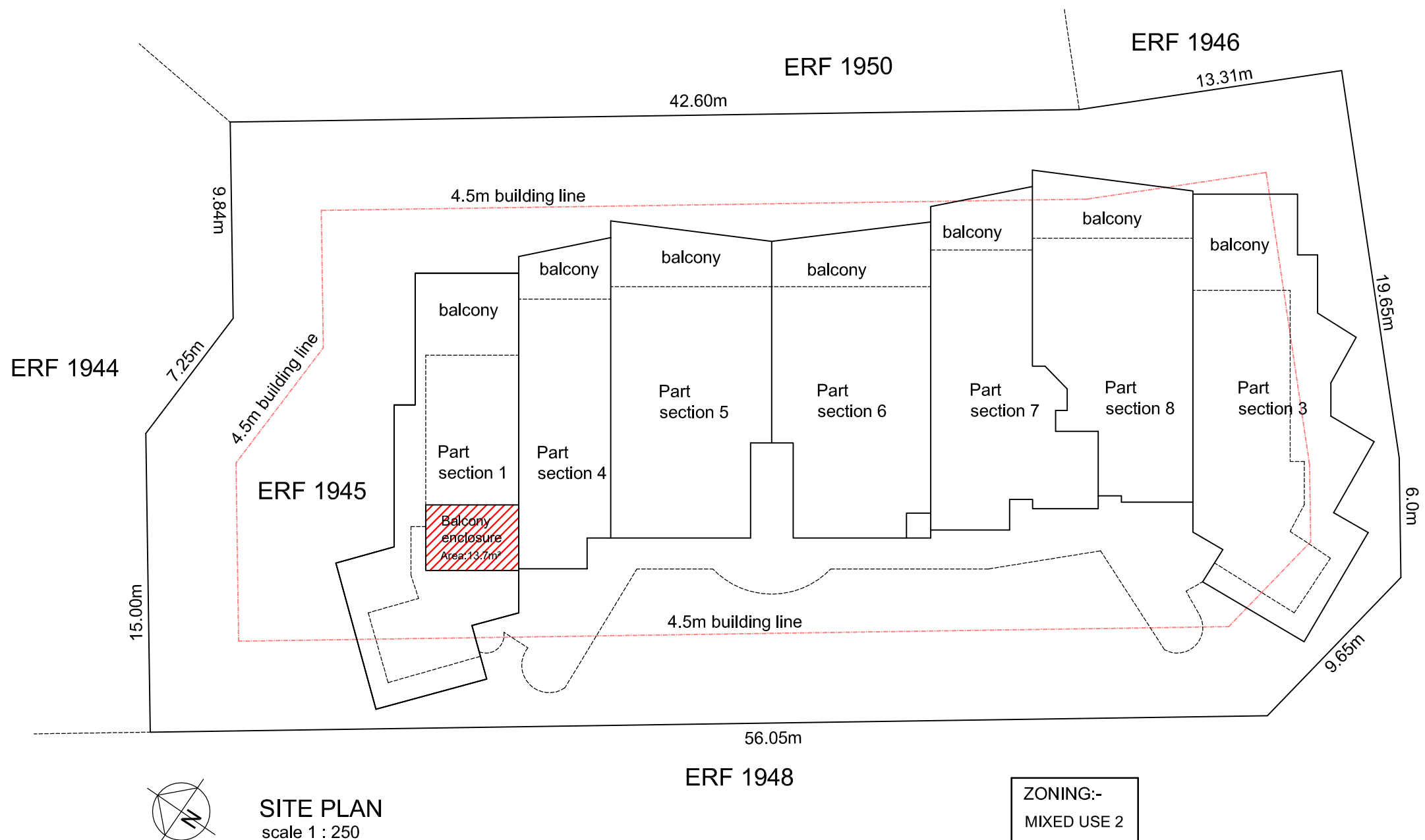
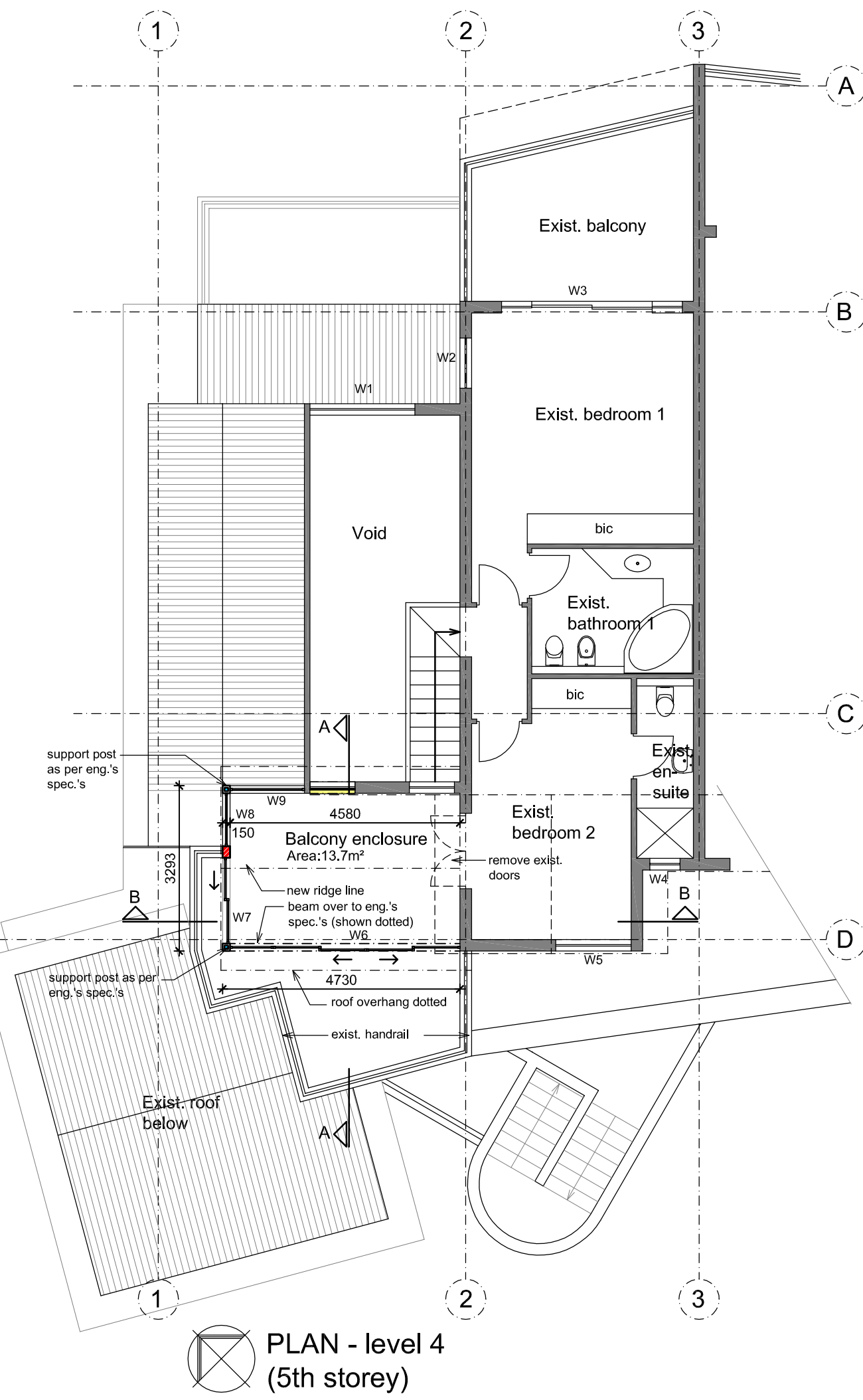
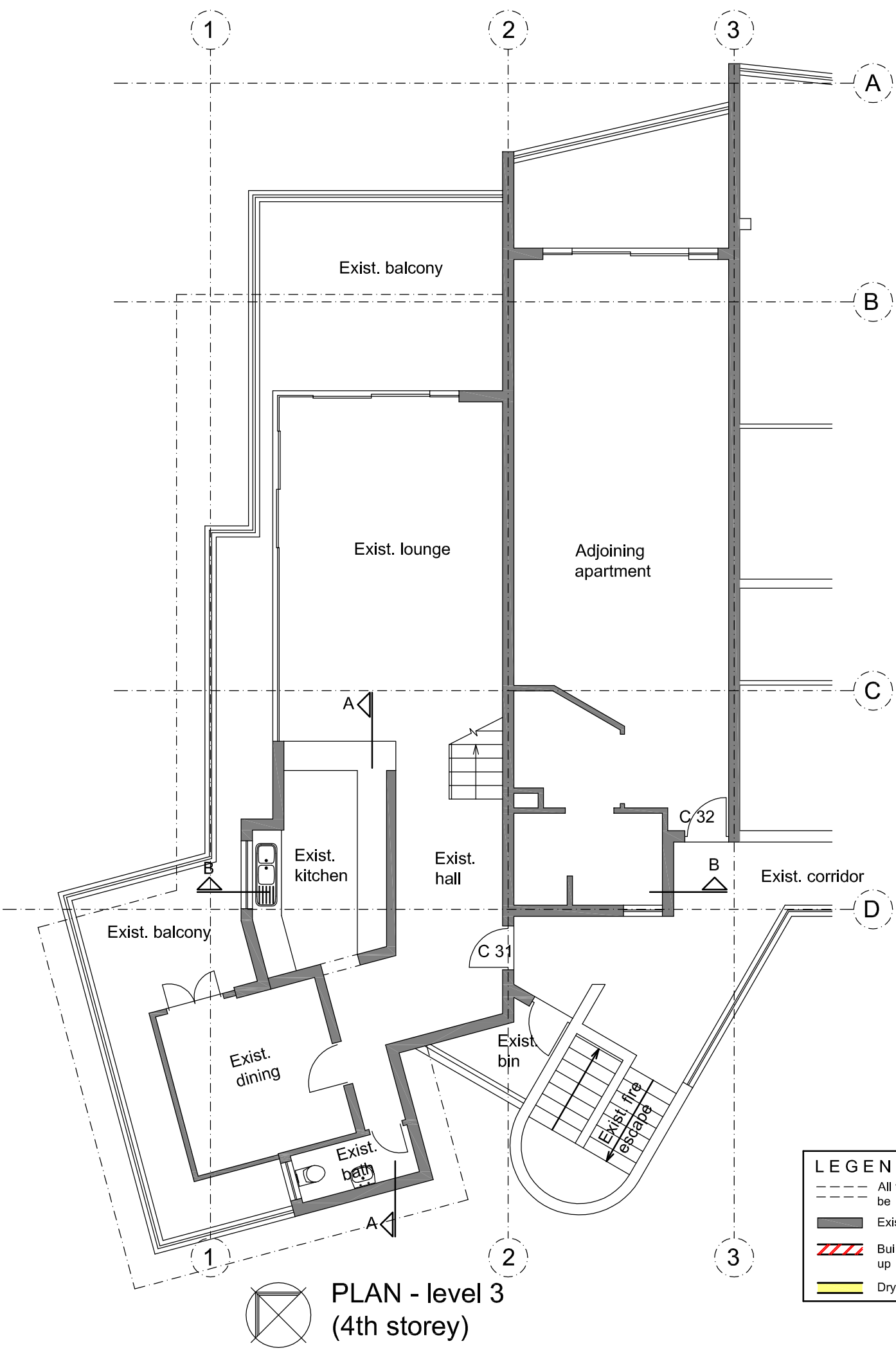
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client
Apartment Reichi
project
PROPOSED BALCONY ENCLOSURE TO (SECTION 1) BLOCK C - CALAIS UNIT 31, WATERCLUB, 26 BEACH ROAD, ERF 1945, GRANGER BAY
drawing title
SITEPLAN, PLAN, ELEVATIONS (C31, 3rd and 4th levels)

job no. 22/04/03
drawing no. 3.01
revision **3**

COUNCIL SUBMISSIONS

scale 1:100
date 8 March '24
author ARM



LEGEND:-
--- All work shown dotted to be demolished.
--- Existing brickwalls
--- Build new walls and brick up openings.
--- Drywall