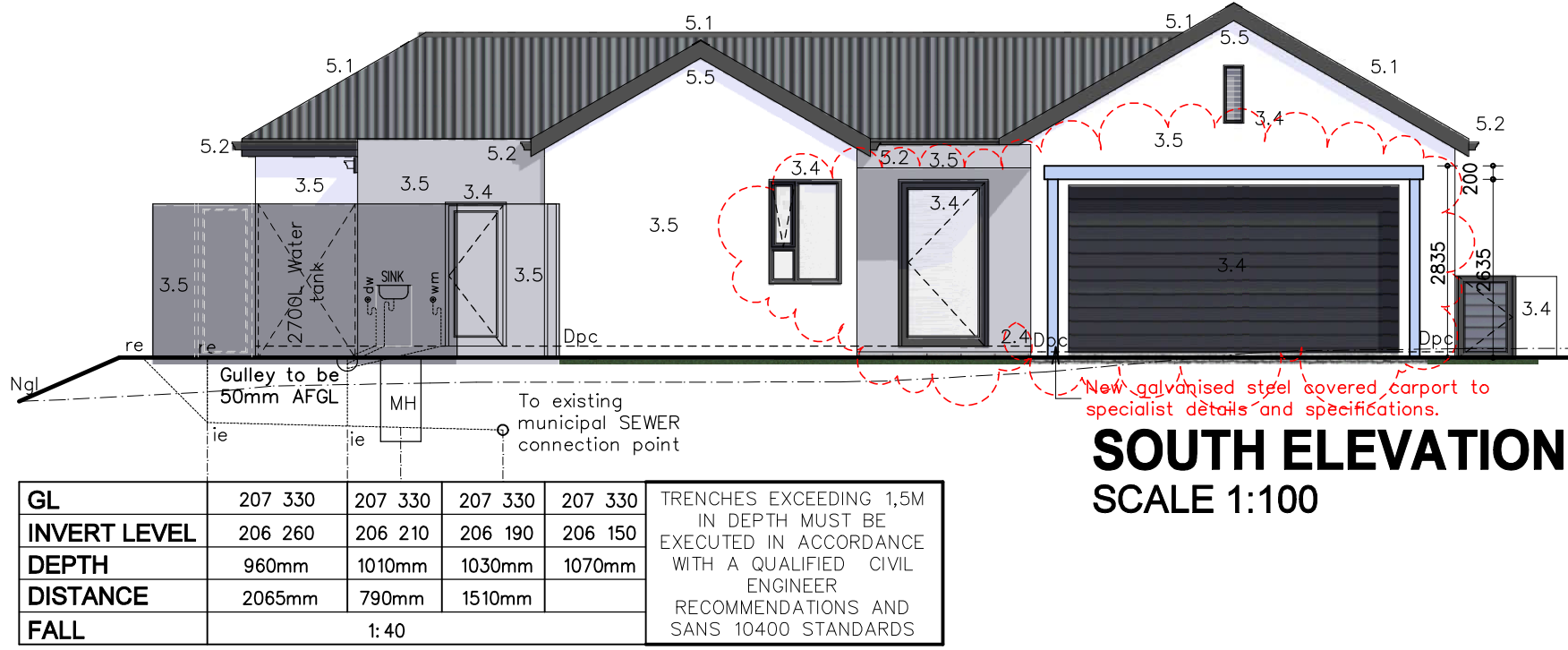
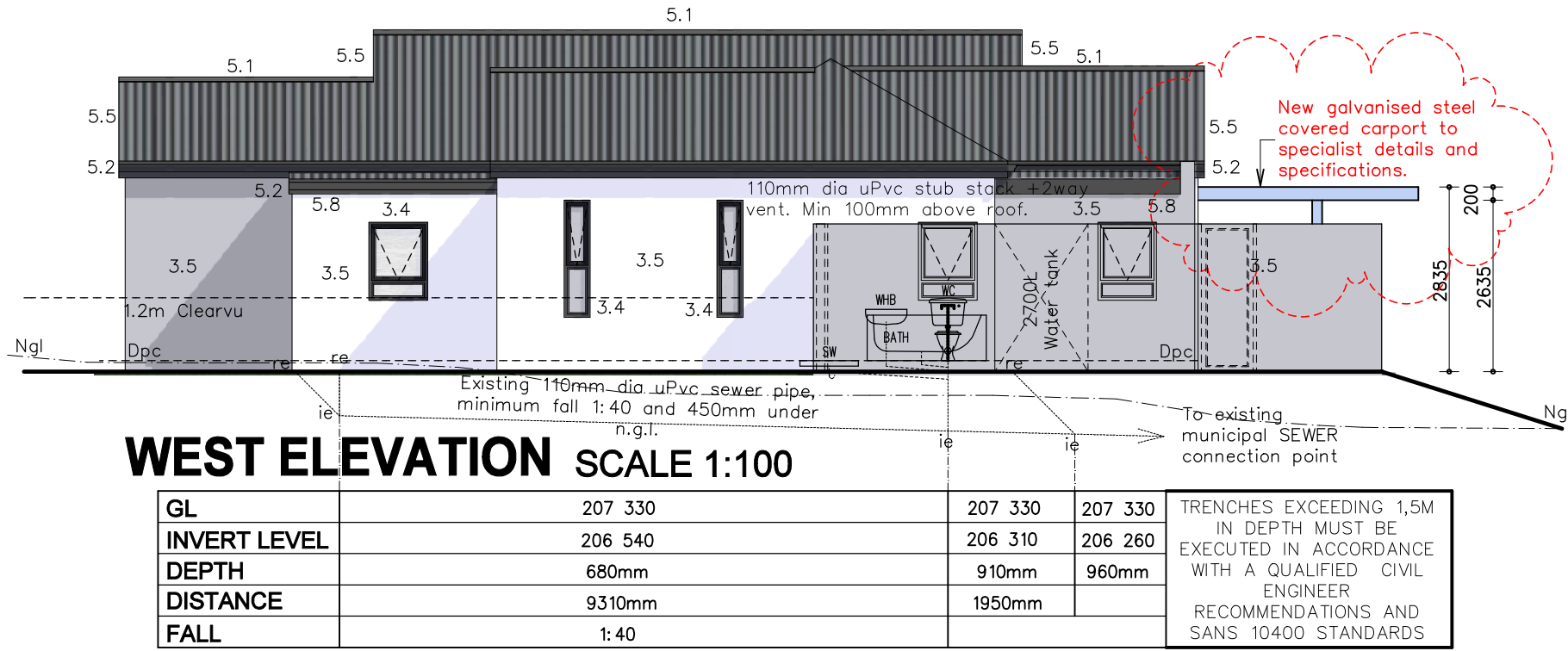
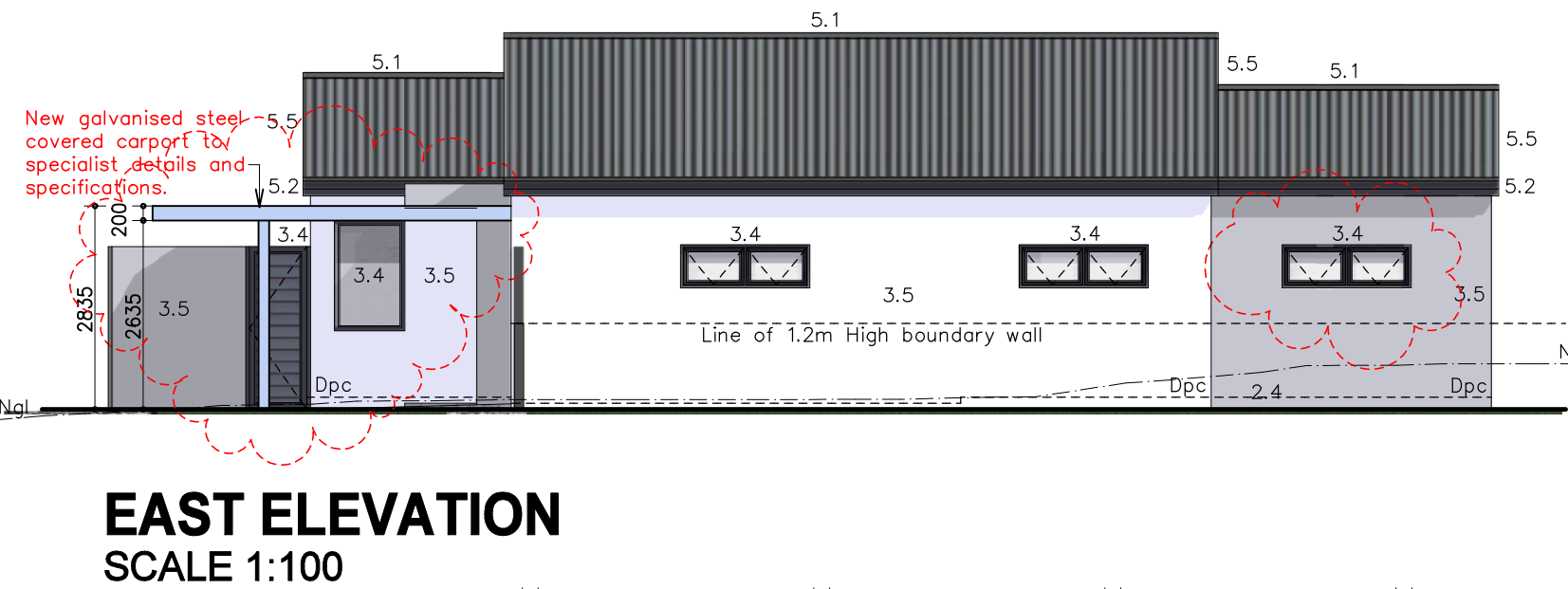




GENERAL NOTES

FOUNDATIONS

- 1.1 Concrete foundation to engineer design and specifications. See engineer's drawings for final layouts of foundations and structure beams and concrete slabs

FLOORS

- 2.1 25mm smooth floated screed on 85mm 1:3:6 concrete slab USB 250 micron damp proof membrane on 50mm sand blinding layer on minimum 150mm well tamped hardcore.
- 2.2 Approved tile finish to fall.
- 2.3 Approved floor finish to client specifications.
- 2.4 Approved paving to Estate specifications.

WALLS

- 3.1 Internal walls to be smooth plastered, skimmed and pointed. All to specialist specifications. Colour to be confirmed.
- 3.2 25 Degree down-tilted plastered external sill Waterproofing of sill to specialist specifications
- 3.3 Stepped approved DPC to all cavity walls, leave a vertical joint open after every 4th joint as weepholes.
- 3.4 Door / Window to schedule.
- 3.5 Plaster and paint to specialist specifications.

CEILING

- 4.1 Gyproc Rhinoboard 9.5mm on 38 x 38mm bracing installed at maximum 400mm centres. Fix Gyproc Rhinoboard using Gyproc Sharp-point Screws 25mm at maximum 150mm centres. All joints shall be staggered. Apply Gyproc Rhinotape to all joints and skim the ceiling using Gyproc Rhinofill CrestaStone.
- 4.2 Install Isover 135mm thick Aerolite non-combustible light weight Glasswool thermal ceiling insulation, nominal density R-value: 3.38m K/W Thermal conductivity: 0.04 W/m/K. Insulation to comply with the requirements in SANS 10400. Or similar approved products of equal or better value.
- 4.3 Plaster and paint under side of concrete slab.
- 4.4 Everite Nutek 4mm thick plain ceiling boards, manufactured in accordance with SANS 9801:2000 SANS 803:2005 mark, fixed to 38 x 38mm battens at 450mm centres.

ROOFS

- 5.1 0.47mm Corrugated pre-coloured galvanised steel roof sheeting fixed to 50x76mm S.A pine battens on timber roof trusses to engineer design and specifications. Roof colour to confirmed to Estate guidelines
- 5.2 Watertite Guttering domestic aluminium Seamless ogee profile gutter, overall size 125 x 85 x 0.6mm thick coated internally and externally with ColourTech G4. Secured to 15x225mm fibre cement fascia with 20 x 2.5mm internal hanger brackets at 600mm centres using aluminium peeled rivets, with 75 x 50 x 0.6mm thick aluminium downpipe, colour to be confirmed, fixed to wall with straps at 1500mm centres using nail plugs, with downpipes riveted and silicone sealed to gutter outlets, including all necessary bends, elbows, shoes etc. Colour to be confirmed.
- 5.3 Flashing to roof manufacturer specifications.
- 5.4 RC beam /slab to Engineer design and specifications.

ROOFS

- 5.5 Cover end of roof with Nutek moulded barge boards (Code: 721-731), size 200 x 80mm, fixed to 38 x 38mm trimmer batten twice screwed with 12 x 40mm countersunk brass screws with PVC H-profile barge board joiners between boards and at roof apex.
- 5.6 Steel / Timber pergola to specialist details and specifications.
- 5.7 Roof construction and open beams to engineer specifications (Double volume)
- 5.8 Concealed clip salfak or similar approved pre-coloured galvanised steel roof sheeting fixed to 50x76mm S.A pine battens on timber roof trusses to engineer design and specifications. Roof colour to Estate guidelines and finishing shedule

DRAINAGE NOTES

DRAINAGE INSTALLATIONS UNDER BUILDING WORK MUST BE INSTALLED IN TERMS OF PART P OF SANS10400 (4.19.4). SANITARY FITTINGS DISCHARGING TO A GULLY TO DISCHARGE OVER THAT GULLY AS PER PART P OF SANS 10400 (4.21). DRAINAGE INSTALLATION TO COMPLY WITH SANS 10400 PART P. DRAINAGE INSTALLATIONS IN THE BUILDING WORK MUST BE PRECISED IN TERMS OF PART P OF SANS 10400 (4.22.2). DISCHARGE PIPES LOCATED WITHIN A BUILDING TO BE ENCLOSED WITHIN A DUCT AND TO BE OF A SHAPE AND SIZE READILY ACCESSIBLE FOR CLEANING IN TERMS OF SANS 10400 PART P, 4.18.2. ACCESSIBLE DUCT TO BE AT LEAST 440 X220MM.DRAINAGE INSTALLATION AS PER REGULATION A2(1)(D). DRAINAGE INFORMATION A PER SANS PART A(8)

NOTE

RAINWATER NOT TO DISCHARGE ONTO NEIGHBOURING PROPERTY. NO STRUCTURE OR ANY PORTION THEREOF TO ENCRoACH THE PROPERTY BOUNDARY. WALLS ON BOUNDARY TO BE FINISH TO THE SATISFACTION OF THE ADJACENT OWNER. PERGOLA TO REMAIN OPEN AS PER BUILDING PLAN PATIO TO REMAIN OPEN AS PER BUILDING PLAN.

PORCH TO REMAIN OPEN AS PER BUILDING PLAN. LP GAS: MAX 38KG ALLOWED ON PREMISES WITHOUT A FLAMMABLE SUBSTANCE CERTIFICATE IN TERMS OF SECTION 37(6) OF THE COMMUNITY FIRE SAFETY BY-LAW. LPG INSTALLATION MUST COMPLY WITH SANS 10087/1

THE COPYRIGHT OF THIS DESIGN AND DOCUMENTATION REMAINS THE FULL INTELLECTUAL PROPERTY OF THE ENERGREEN DESIGNS. ALL DRAWINGS AND MEASUREMENTS MUST BE CHECKED AND VERIFIED BEFORE ORDERING OF MATERIALS OR BEFORE ANY BUILDING TAKES PLACE OR WORK IS TAKEN IN HAND. ANY DISCREPANCIES MUST IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / RESPONSIBLE DESIGNER FOR RECTIFICATION OR CLARIFICATION. NEVER SCALE FROM ANY DRAWING. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER OCMENTATION, DRAWINGS, DETAILS AND SPECIFICATIONS PROVIDED BY THE ARCHITECT AND RELEVANT CONSULTANTS. ONLY THE LATEST SIGNED AN APPROVED DRAWINGS AND DOCUMENTATION MAY BE USED. ALL OUTDATED DRAWINGS AND DOCUMENTATION MUST IMMEDIATELY BE REMOVED FROM THE SITE

KRAAIBOSCH PARK APPROVED

Signed:..... Date:.....

NOTE: No amendments to this drawing or future additions/alterations to this drawing may be made without prior approval of the HOA DRP/EC

GENERAL NOTES:
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All building materials, construction methods and work must comply with the latest National Building Regulations, SANS 10400 and all other ANS Regulations. SANS and any other applicable bylaws and codes.
All materials must be installed according to the manufacturer's specifications and recommendations. Never scale from any drawing.
This drawing must be read in conjunction with all other documentation, drawings, details and specifications provided by the architect and relevant consultants. Discrepancies between documentation must immediately be brought to the architect's attention for clarification or correction.
Only the latest signed and approved drawings and documentation may be used. All outdated drawings and documentation must immediately be removed from the site

PROJECT TITLE:

KRAAIBOSCH PARK

Additions and Alterations to Existing Dwelling for ERF 29288, in the Town of George, Kraaiboch Park Estate

KRAAIBOSCH PARK

Client:

DRAWN BY: HvdW

STOREY:	AREA:
Dwelling	186m²
Covered Patio	12m²
NEW Covered Carport	28m²
Total Area	226m²
Open Patio	7m²
Yard	242m²
Erf Size	428m²
Coverage	53.5%
Height	8.5m
Hard Landscape Area	57m²= 13.5%

ENERGREEN
DESIGNS
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EMAIL: energreend@gmail.com
PROFESSIONAL ARCHITECT
TECHNOLOGIST
REG. NO T0645 (SACAP)

DRAWING:
Elevations, Site & Floor Plan

SCALE:

AS INDICATED

DATE:

2025/07/30

DRAWING NUMBER:

ERF 29288 - 1000 R1