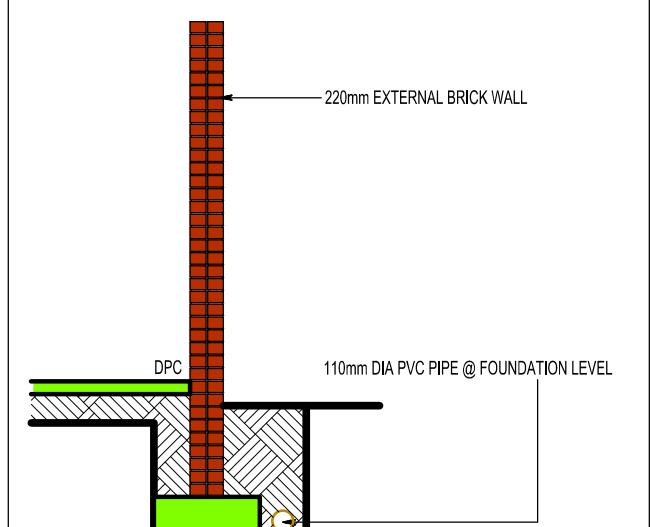
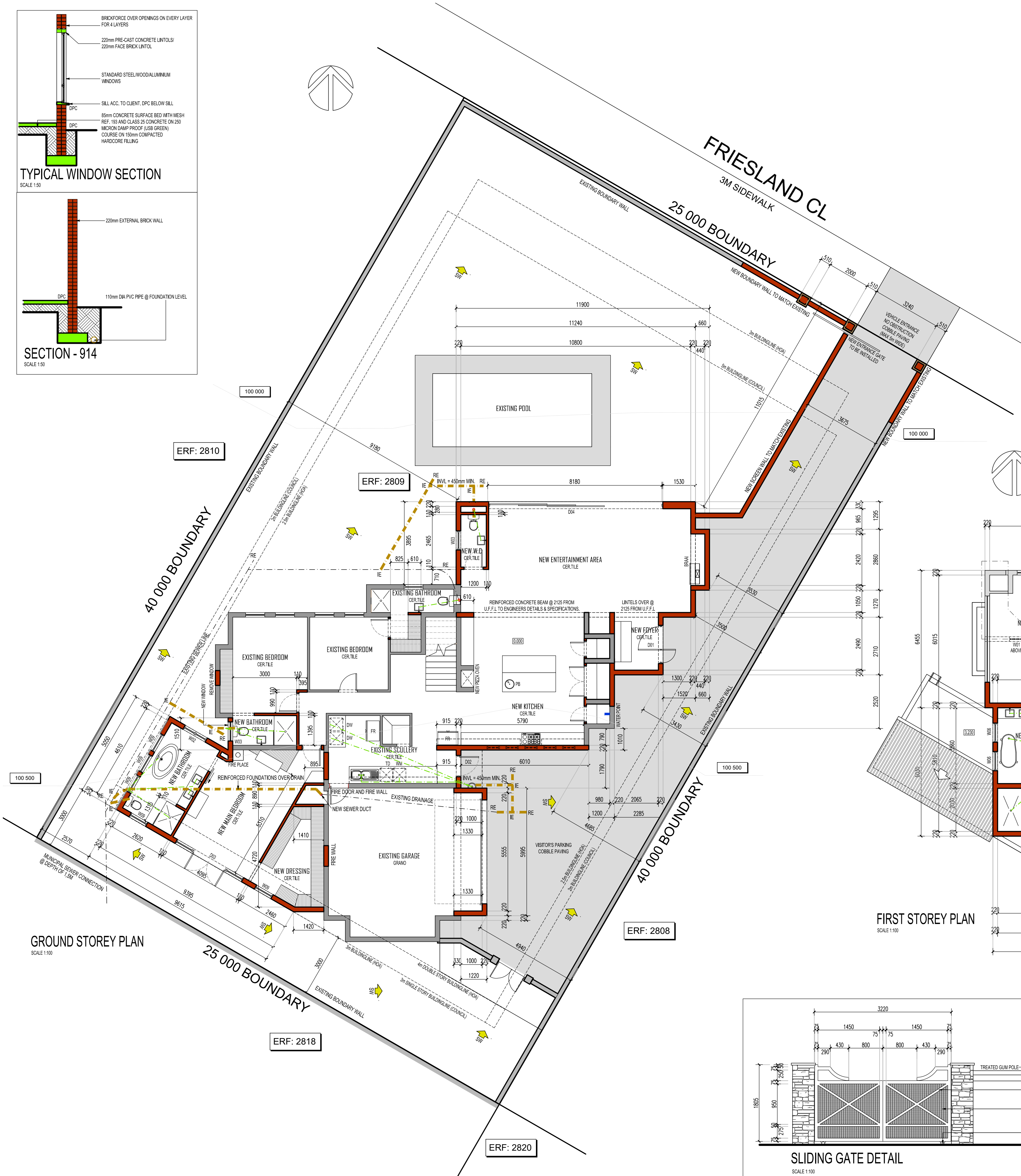


TYPICAL WINDOW SECTION



SECTION - 914

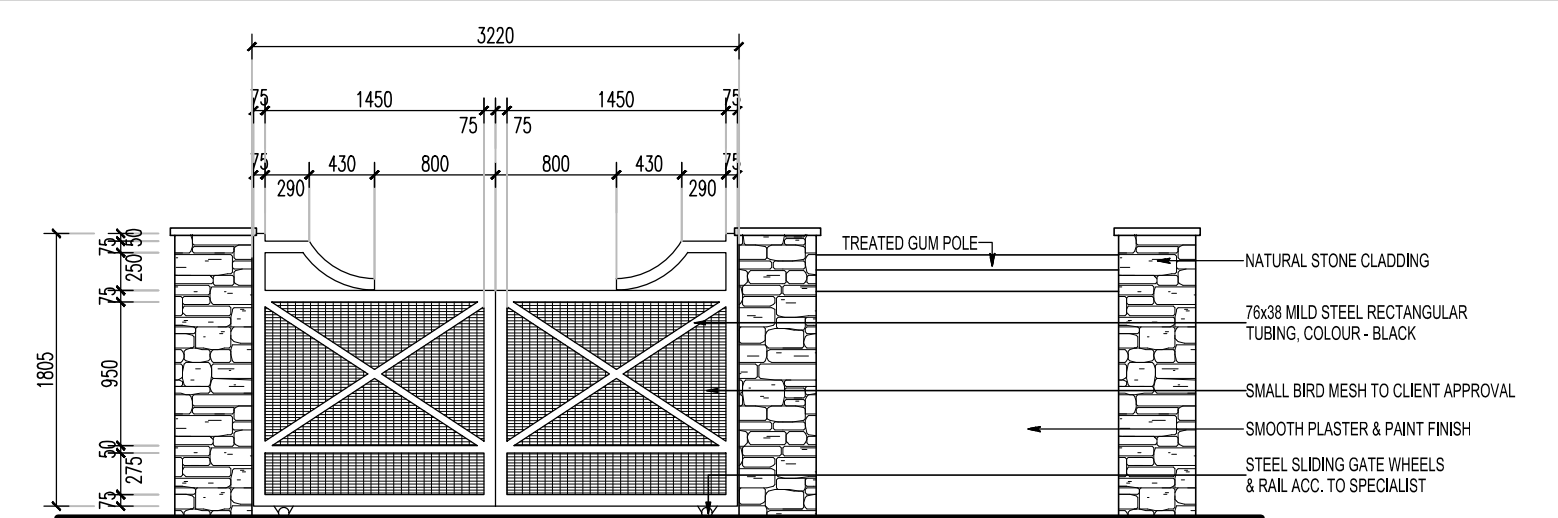


GROUND STOREY PLAN

SCALE 1:100

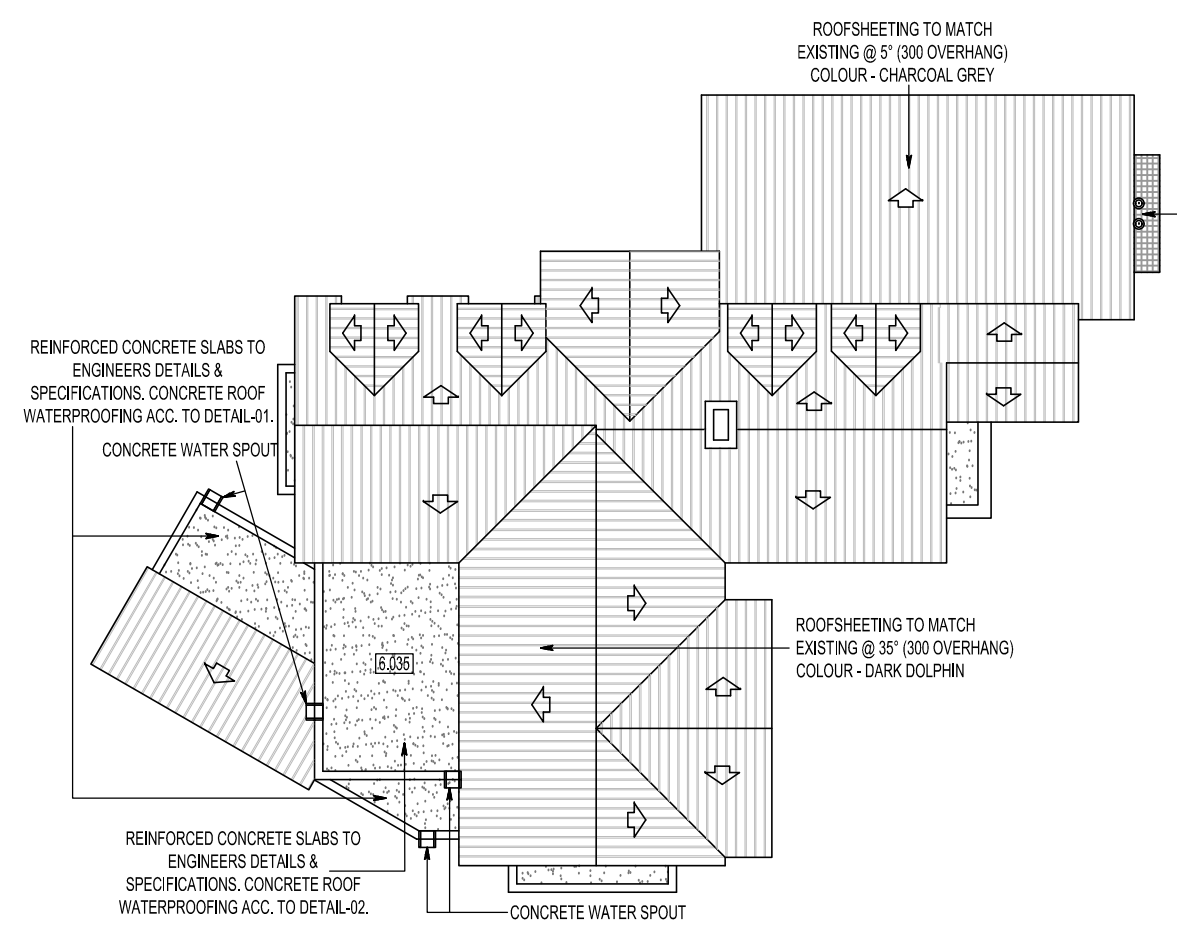
FIRST STOREY PLAN

SCALE 1:100



SLIDING GATE DETAIL

SCALE 1:100



ROOF PLAN

SCALE 1:200

- FIRE PROTECTION:**
- (1) separating element (wall and floor) between any garage that is not large enough to be classified as j4 and any habitable room shall have a fire resistance of not less than 30 min and the wall shall extend to the underside of the roof.
 - (2) any door between such garage and any such room shall have a fire resistance of not less than 30 min and such doorway shall require a threshold of not less than 10mm.
 - (3) no combustible roof components shall penetrate the separating element dividing the space between the garage and the habitable room.
 - (4) any solid timber door constructed with double rebated joints, that have a thickness of not less than 40mm, shall be deemed to comply with the requirement of 4.9.2 for rating of 30 min.
 - (5) chimney as per nbr part 'v' and minimum 1m above roof covering.
- HOA NOTES**
- (1) written approval will be obtained from estate manager before installation of dish/solar heating panels or airconditioners.
 - (2) all gutters/downpipes/exposed drainpipes to match colour of house.
 - (3) 1m concrete/paving apron all round main and outbuildings.
 - (4) all ducts to be min. 330 x 220mm deep and to be covered with everite fibre cement panels.
 - (5) all exposed fullbore outlets, rw spout outlets to be painted to match colour of dwelling.
 - (6) all exposed drainpipes on ground floor to be painted to match dwelling.
 - (7) cobble paving on driveway and road reserve.
 - (8) concrete roofs to be non-reflective.
 - (9) no existing trees on site
 - (10) washing line not to be visible from the outside of drying yard
 - (11) staff room to have a self-closing arm.
 - (12) no trees, scrubs or hedges to be harmed or to be removed outside the erf boundary.
 - (13) satellite dishes & aerials - inconspicuous practical position normally NE & below the roof ridge.
 - (14) airconditioning - must be at ground level trunking must be internal.
 - (15) solar panels flush mounted in same plane as roof.
 - (16) service pipes and ducts - min.330mm x 220mm.
 - (17) building numbers and signage - max 300mm high.

GENERAL NOTES:

Building work and materials must comply with Local Authorities Bye-Laws and NBR SABS 0400. Do not scale this drawing. Use figured dimensions only. All dims and heights to be checked on site. Discrepancies shall be reported to the architect. All levels, heights, depth, plinths, excavations and number of steps are to be finally checked by the contractor on site. Levels shown are unfinished floor levels.

FOUNDATIONS & FLOORS:

600x220mm 1:3:6 concrete strip foundations, min depth 300mm, or as per engineers specifications & dwgs. No strip foundations shall encroach any boundary or servitude line. 25mm cement screed on 75mm concrete surfaced on 250 micron damp proof course on suitable soil filling compacted in max layers of 150mm thickness.

WALLS:

External walls: Textured new plaster to comply with SABS code 1090:1996. A SABS certificate of compliance (for items 6.6.1-6.8) must be obtained by the contractor. Paint: Plascon and Plascon where indicated on drawings. Internal walls: Plaster & paint. Bathroom & kitchen walls: tiled as per clients specifications.

DRAINAGE:

All installations to comply with SABS 0400-1990. Provide IE to all direction/gradient changes. Provide CE for every 25m length of soil pipe. Provide marked covers to all waste fitting. Provide re-seal traps to all waste fittings. All junctions of waste and soil pipes to be accessible along entire length. Bends & Junctions shall not be under buildings. Soil pipes under buildings to be encased in 300mm concrete.

S(sink)=40mm WP: WC(water closet)=110mm upvc SP(soil pipe):
B(bath)=50mm WP(waste pipe) SW(shower)=50mm WP with deep seal brass trap:
WB(wash basin)=40mm WP: BT(bidet)=50mm WP

WARM WATER:

Warm water & geyser installation to be in accordance with SABS 0254/21 (including drip trays for geysers)

FIRE PROTECTION: Occupation Classification for building: H4
The building must comply with requirements of SABS 0400 Sect T) T1=General & Non-Compliance, T11=General, T12=Safety distance, T15=Fire Behavior, T17=Fire stability of structure, Elements & Components, T18=Tennancy Partition Elements, T19=Partition walls & Partitions, T110=Protection of Openings, T112=Roof Compositions & Coverings, T113=Ceilings, T114=Floor Finishes, T115=Wall Finishes, T116=Escape Route provision, T117=Supply Routes, T119=Emergency routes, T120=Dimensions of escape routes, T121=Escape route widths, T123=Stairs & other level changes along escape routes, T124=Vent of Stairs in emergency route, T127=External Stairs & Passages, T140=Protection in Service Ducts in Structure or Div Elements, to Bldgs for Fire Extinguishing & Rescue Work, T156-Assumed Fire Resistance of bldg Materials & Components, T157=Non-Combustible bldg Material.

ILLUMINATION & VENTILATION:

Illumination & Ventilation must comply with Section 10' of SABS 0400-1990 & where short falls occur due to security considerations these shortages will be supplemented to the required levels with Electric Lighting & Artificial Ventilation.

GLAZING:

Glazing must comply with sect N(SABS 0400) & SABS Code 0137. Safety Glass in: sliding doors (+ markers), & 0-300mm above floor level in windows & 0-800mm in the case of all doors. Contractor to supply glazing-certificate
Nominal Thickness: 3 mm 4 mm 5 mm 6 mm
Maximum Size: 0,75 m2 1,50 m2 2,10 m2 3,20 m2

WINDOWS:

Bronze aluminium window frames according to window codes or as shown, & with burglar bars. Contractor must supply AAAMSA-certificate

CONSTRUCTION JOINTS:

Construction joints (between brick & re-inforced concrete slabs), parapets & water- & dampproofing must comply with SABS0121. Joints to be sealed with siliconebased sealant

WATERPROOFING:

4mm CG4 DERBIGUM patented waterproofing system laid by accredited sub on MIN 50mm light weight screed & cementscreed where less than 50MM laid to falls.
BALCONIES: Tiles laid on 40mm screed on slip sheet on 4mm CG4 DERBIGUM all as per manufacturer's specification. ROOFS: 40mm layer 12-15mm gravel on 50mm riversand on BIDDEM membrane 4mm CG4 DERBIGUM patented waterproofing

ROOF (CONCRETE):

Reinforced concrete slab as per drawings and eng. spec.

CEILING (FOR CONCRETE SLABS):

Smooth off-shutter concrete

ROOF:

roofsheeting to match existing @ 35' (300 overhang) on 76 x 50 S.A. Pine purlins on sisalation on 152 x 38 S.A. Pine beams @ 750mm c/c max. On 114 x 38 S.A. Pine wallplates. Trusses tied to walls with 4mmQ galvanised steel wire built into walls at least 8 brick courses deep where possible. Wall plates bolted to wall with 250mm long galvanised bolts. All S.A. Pine to be grade 6

CEILING:

6.4mm gypsum ceiling board fixed on 38x38 S.A. Pine brenderings at 450mm max. C/C. 75mm matching cornice. 150mm THINK PINK glassfibre insulation

RAIN WATER GOODS

125x100mm chromadeck aluminium gutters and 100x75mm chromadeck aluminium downpipes to comply with SABS 0400. Colour to match walls (where applicable)
Old World Concrete pre-cast concrete water spout to all concrete roof slabs.
GMS down pipes (NO UPVC FITTINGS ALLOWED) where applicable

PENTZ CONSULTING
design and draughting studio

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AREA:	
EXISTING GROUND FLOOR	229.1sqm
EXISTING FIRST FLOOR	79sqm
NEW ADD. TO GROUND FLOOR	79sqm
NEW ADD. TO FIRST FLOOR	73sqm
TOTAL NEW AREA	152sqm
TOTAL AREA	480.1sqm
ERF AREA	1000 sqm
COVERAGE	31%
FAR	0.4
TOTAL GROUND FLOOR	308.1sqm
TOTAL FIRST FLOOR	152sqm
GROUND/FIRST FLOOR RATIO	FF-152/GF-308.1= 51%

REVISION SCHEDULE:	
Rev/	Description:
-	-
-	-
-	-

ENGINEER'S DETAILS:

SIGNATURE OF OWNER: SIGNATURE OF ARCHITECT:

CLIENT: MR. & MRS. KRIEG
PROJECT DESCRIPTION: PROPOSED NEW ADDITIONS ON STAND 2808 IRENE X 52 CITY OF TSHWANE
DRAWING DESCRIPTION: COUNCIL SUBMISSION
SCALE: AS SHOWN Drawing No. 2 1 0 4 0 1
Rev No. 00