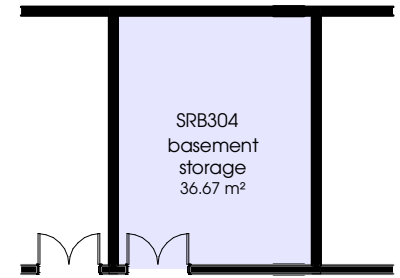


Annexure "D(1)"

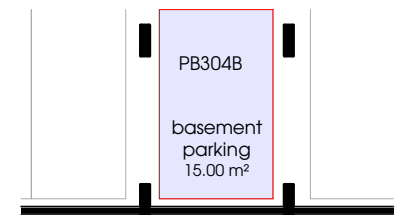


SECOND FLOOR - UNIT PLAN

1 : 200



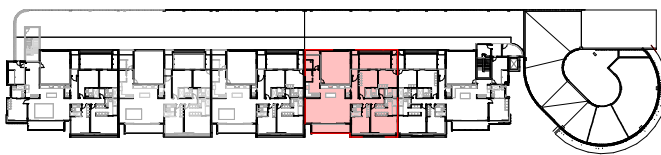
BASEMENT - STORAGE ROOM



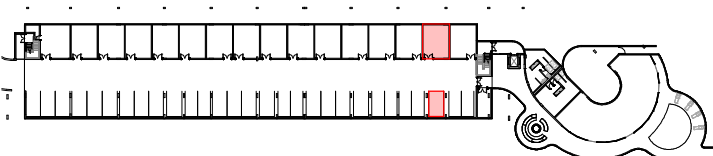
BASEMENT - VISITORS PARKING

1 : 200

KEY PLAN



SECOND FLOOR PLAN



BASEMENT FLOOR PLAN

AREA SCHEDULE - UNIT B304

SECTION AREA	
UNIT	174.5 m ²
double garage	41.6 m ²
staff quarters	19.1 m ²
SUB TOTAL	235.2 m ²
EXCLUSIVE USE AREA	
balcony	14.8 m ²
utilities yard	11.7 m ²
basement storage	36.7 m ²
basement parking	15.0 m ²
visitors parking	12.5 m ²
entrance walkway	7.8 m ²
walkway	5.6 m ²
SUB TOTAL	104.0 m ²
TOTAL AREA	339.3 m ²

NB: All Section and Exclusive Use Areas shall be measured and confirmed by a registered land surveyor upon completion.

copyright © 2023 elphick proome architecture | any unauthorised reproduction, publication, adaption or inclusion of this drawing & its contents is an act of copyright infringement
directors | g. elphick pr arch (sacop 3757) | n. proome pr arch (sacop 4218) | j. hall pr arch (sacop 5716) | m. govinadasami pr arch (sacop 7180) | g. gordon pr arch (sacop 21739) | associate director | p. roetz | associates | v. gowender | i. thiruvallu pr arch (sacop 10814) | k. cheff pr arch (sacop 20557)

UNIT B304

BEACHWOOD COASTAL ESTATE

19119-3 - B - WL - 8000-B304

As indicated

PS

0	10	20	30	40	50 m
---	----	----	----	----	------

elphick proome architects | +27 31 275 5800 | www.eparch.co.za | durban | south africa

epa 50 m