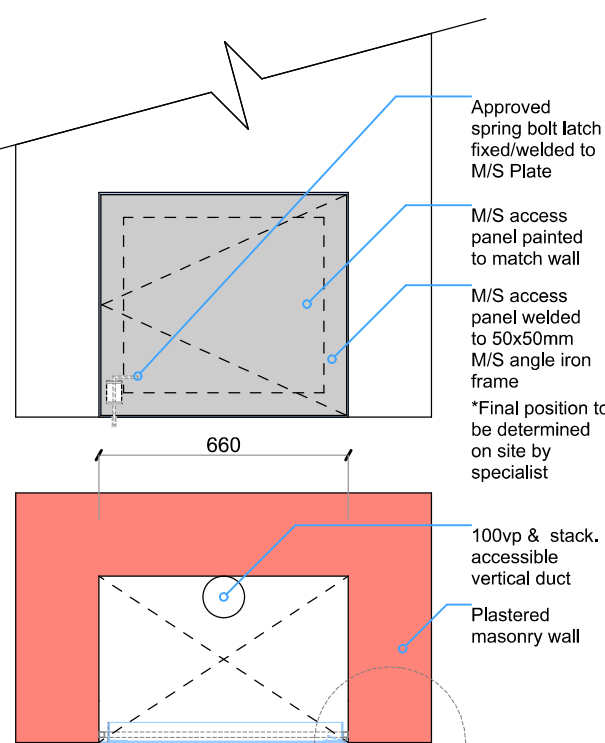


AREAS	
GROUND FLOOR	
Garage's	41,50 m²
Covered Porches	1,50 m²
Covered Patio	19,90 m²
Dwelling	80,10 m²
TOTAL GROUND FLOOR	143,00 m²
FIRST FLOOR	
Dwelling	90,90 m²
TOTAL FIRST FLOOR	90,90 m²
TOTAL (excl. D.V.)	233,90 m²
Double volume (FF)	3,90 m²
TOTAL (incl. D.V.)	237,80 m²
SITE AREA	450,00 m²
COVERAGE	31,78 %
FIRST FLOOR / GROUND FLOOR RATIO (incl. double volumes)	0,6629 / 66,29 %

Notes:
ELECTRICAL and/or SOLAR geyser & cylinder, to be neatly "boxed" and placed on top of roof slab behind parapet walls, strictly with drip-tray and overflow (also see roof plan), to be strictly in accordance with all relevant regulations of SANS 10252 concrete staircase with min 1m high balustrade, by specialist STAIR NOTE: Treats: 280mm Risers: 170mm To comply with SANS 0400 Part M

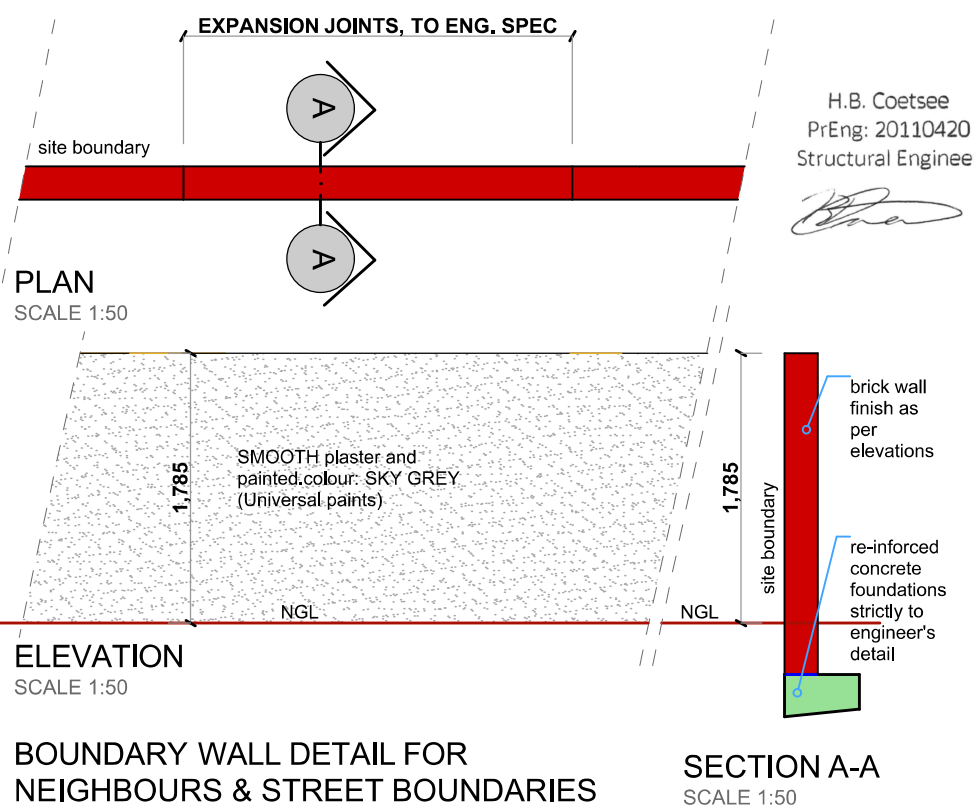
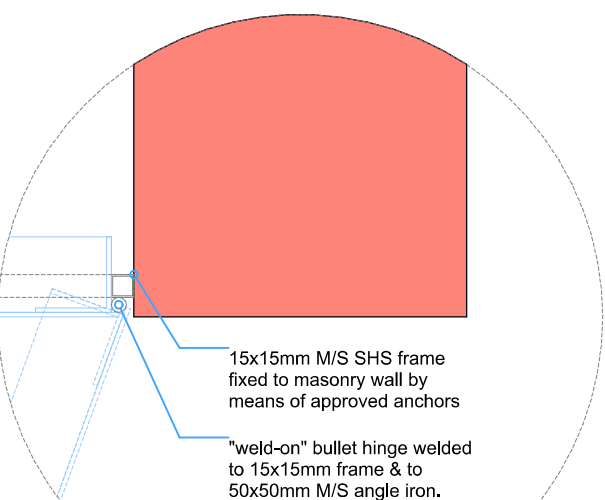
1ST FLOOR PLAN

scale 1:100



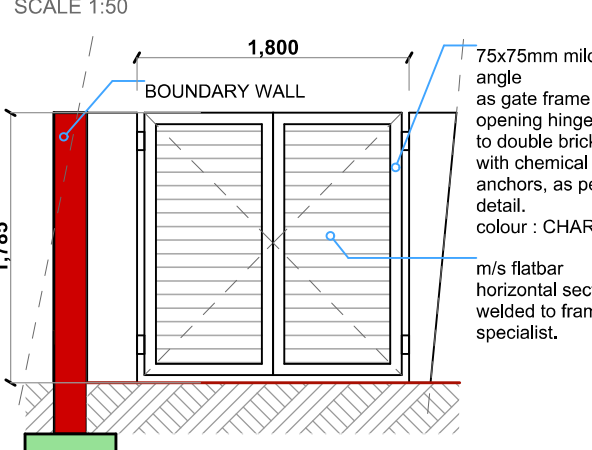
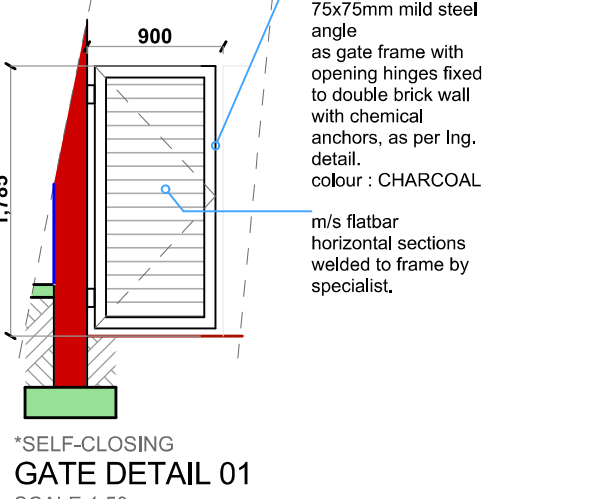
GENERAL SEWER DUCT DETAIL

SCALE 1:20



BOUNDARY WALL DETAIL FOR NEIGHBOURS & STREET BOUNDARIES

SCALE 1:50



VEHICLE GATE DETAIL 01

SCALE 1:50

NOTES

1. All work to be carried out strictly according to the National Building Regulations (NBR/SANS 10400), any SANS standards & any applicable local by-laws.
2. All materials used must be of the highest quality & SABS approved (where required). All work must be done to the highest quality & by people qualified/confirmed to do the relevant work.
3. All material and work to be approved by the developer/architect.
4. All specialist work to be carried out by an approved specialist.
5. No work to be done without municipal approved drawings or L.L.O. a T.76 approval.
6. All work to be done in accordance with approved municipal drawings & contractor to always keep a copy of the approved drawings on site.
7. All drawings to be read in conjunction with other consultants drawings & specification (ex. Engineer's drawings).
8. All dimensions are in millimeters, unless otherwise shown. Do not scale the drawing & work strictly to written heights & dimensions.
9. Any discrepancies must immediately be brought to the attention of the Architect.
10. The contractor is responsible for setting out all new building work and shall appoint a land surveyor to do so.
11. Any specification or schedule of finishes shall take preference over any drawings, except where the specification is in contradiction with the NBR, any local by-laws, any detail/spec from any specialist/engineer.
12. Work to be carried in writing: all structural work, termite poison, pre-lab trusses; all glazing; all electrical work; any gas installation; other as determined during construction.

GROUND & EXTERNAL BUILDING WORKS:

1. All ground works (cut and fill, finalization and compaction of platforms) strictly to engineers specifications and drawings.
2. SABS approved interlocking pavers as shown on site plan and to eng. detail, strictly laid according to manufacturers spec. Colour to developer/architect spec. No plastic underlay to be provided underneath pavers.
3. All boundary walls to site plan and strictly to architects details. All boundary walls to comply with SANS 10400-K. 32mm dia weepholes to be provided as shown or as determined on site. No plastic waterproofing membrane to be provided at any level of boundary wall.
4. Foundation to boundary walls at the site's external boundary not to encroach over any site boundary.
5. Retaining wall as shown on site strictly to specialist/engineers detail.
6. Ramps (if any) as shown on plans and not to exceed 1:12 gradient.
7. External stairs (if any) to be built according to plans/detail and/or as determined on site during construction. Riser @ max.170mm. Treads @ min 250mm.
8. Site and external building lighting to specialist/engineers detail.
9. One external tap to be provided over gully in kitchen yard.
10. All landscaping to be done by specialist/landscape architect.
11. Storm water to be channelled on surface as shown on engineer's drawings and site plan.

FOUNDATIONS:

1. All excavations for foundations strictly to engineer's detail.
2. Concrete RAFT foundations as per engineers detail. Strip foundation to be provided underneath all 220mm external and internal brick walls, unless override by engineer.
3. Concrete slab thickening strictly to engineers detail and to be provided underneath all 110mm brick walls, unless override by engineer.
4. Re-inforced concrete raft foundation with 85mm steps (if any) strictly to engineer's detail.

PRIMARY STRUCTURE:

1. ROOF FINISH AS PER SECTION/ELEVATION (incl. all accessories) with pre-painted finish (colour to specification) on approved FR steel reflective membrane (HRM) on 52x76mmSAP Battens @ max 1,2m/c/c.
2. Exposed trusses to be properly sanded pre-lab timber trusses with specially designed connection plates, from grade 6 SAP timbers @ max 1,4m c/c, all as per engineer's detail. Levels and gradient as per various drawings. 6,4mm gypsum ceiling with timber quarter-rounds as comes in between exposed trusses with 115mm cellulose fibre insulation on top of ceiling board but below HRM.
3. Concoiled trusses to be computer designed pre-lab timber trusses from grade 6 SAP timbers @ max 1,4m c/c, all as per engineer's detail. Levels and gradient as per various drawings. 6,4mm gypsum ceiling with timber quarter-rounds as comes in between of trusses with 38x38mm timber battens. 115mm cellulose fibre insulation on top of ceiling board but below HRM.
4. All trusses to be anchored with steel wires, strictly according to NBR & detail.
5. For concrete roofs (if any), approved SABS waterproofing on min. 25mm sloped screed on min 170mm concrete roof with upstands to allow for waterproofing, all to roof plan, sections and engineer's detail.
6. Min. 100mm dia downpipes to detail and roof plan, if required.
7. All brick walls as shown and dimensioned on various drawings. All walls to be built with approved day bricks with brickwork at levels specified by engineer.
8. Pre-lab concrete lintels only over openings in walls that are plastered on both sides, unless otherwise indicated.
9. Facebrick walls (or where indicated) to have re-inforced brick on edge (see) lintels to eng. detail.
10. DPC membranes to be provided at all window sills, under all walls at UFL and wherever else shown. All 340mm retaining walls including vertical DPC to eng. detail.
11. Re-inforced concrete slabs (if applicable) sizes and specifications strictly according to eng. detail.
12. 85mm concrete surface bed, re-inforced to eng. detail. UFL as shown but @min 340mm above NGL, on approved termite poison on approved compacted filling.

SECONDARY STRUCTURE:

1. Powder coated aluminum doors and windows as shown on drawings and schedules. Colour to developer/architect.
2. Hardwood timber door frames with solid internal doors and hollow internal door, all to schedule. Doors and frames to be painted/finished strictly according to manufacturers spec.
3. All glass types, thicknesses and fittings strictly to window & door schedule.
4. Remote controlled timber garage door, to door schedule (natural colour). To be tiled strictly according to manufacturers spec.
5. Roof / PERGOLA timber & steel structures: Exposed pre-lab timber beams & columns with specially designed connection plates, from grade 6 SAP timbers @ c/c as indicated. Fixed to steel square tube. Levels and gradient as per various drawings. All exposed timber to be properly sanded and oiled. FINAL DESIGN & INSTALLATION BY SPECIALIST (to be approved by architect).

FITTINGS:

1. Hot water supply provided by GAS GEYSER SYSTEM, by specialist
2. Built in cupboards to specialist design and specifications, to be approved by developer/architect.
3. 4x120x20 GAS stove and electrical oven / as specified by client / developer, all to specialist.
4. Sanitaryware as shown to developer/architects specifications/schedules.
5. Standards built in braai, Braai and chimney strictly by specialist and in accordance with the NBR.

HOA STAMP/APPROVAL:

OWNER'S SIGNATURE:

SEWER CODE

CONSTRUCTION

CLIENT

NEW DWELLING FOR OCEANIC DEVELOPMENTS ON ERF 12011 CLAYVILLE EXTENSION 117 TOWNSHIP, REGISTRATION DIVISION J.R., PROVINCE OF GAUTENG

DRAWING TITLE

FLOOR PLANS, ELEV., DETAILS & SECTIONS

DESIGNED

AWA

SCALE

1:20, 1:5, 1:50, 1:100

STAGE

Construction

PAPER SIZE

A1

DRAWING NUMBER

24OceanicFB12011-WD01-101

DATE

10/15/2024

* THE COPYRIGHT OF THE DESIGN IS ON THIS DRAWING REMAINS THE PROPERTY OF ADRIAAN WOODING

Adriaan Wooding Atelier architecture and design workshop

336, hans strijdom avenue, lyttelton manor, centurion. 083 411 9912 adriaan@awatelier.co.za PrArch 21354

PROFESSIONAL ARCHITECT ADRIAAN WILLEM WOODING

97-12 AR (Adriaan Willem Wooding) 30 Dec 2021