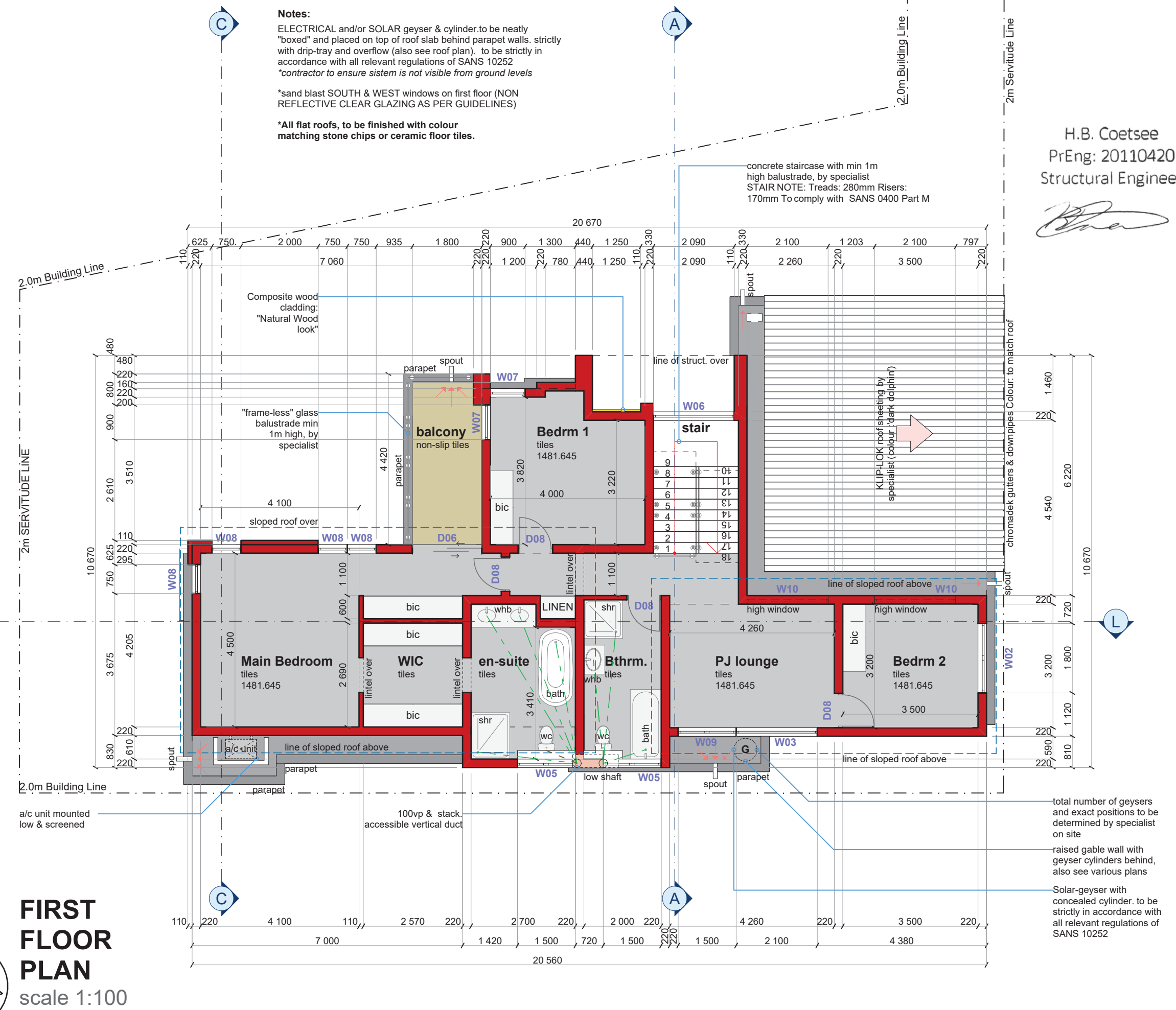
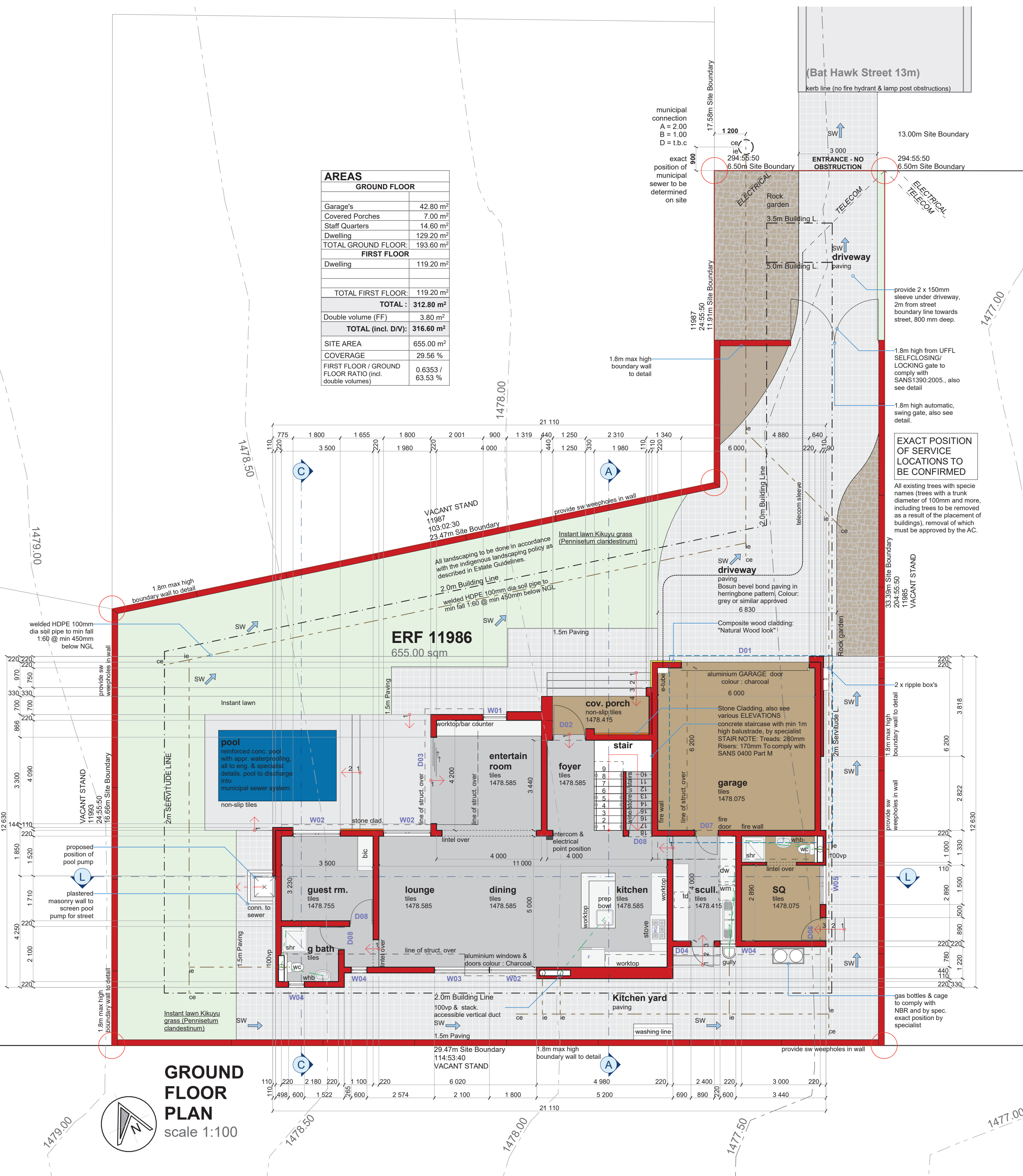
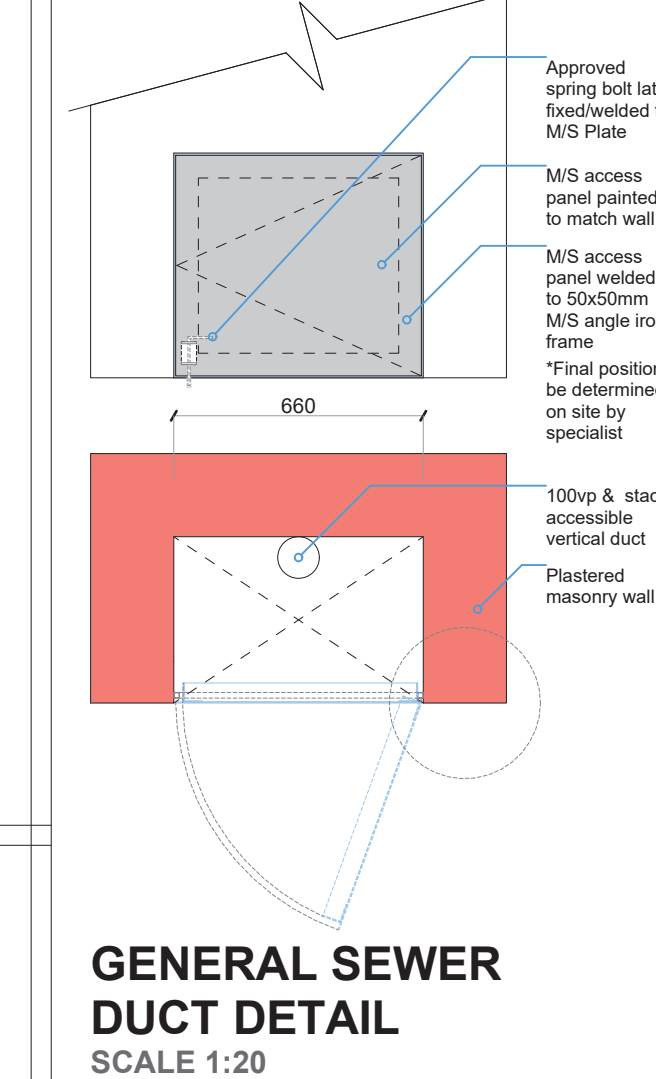
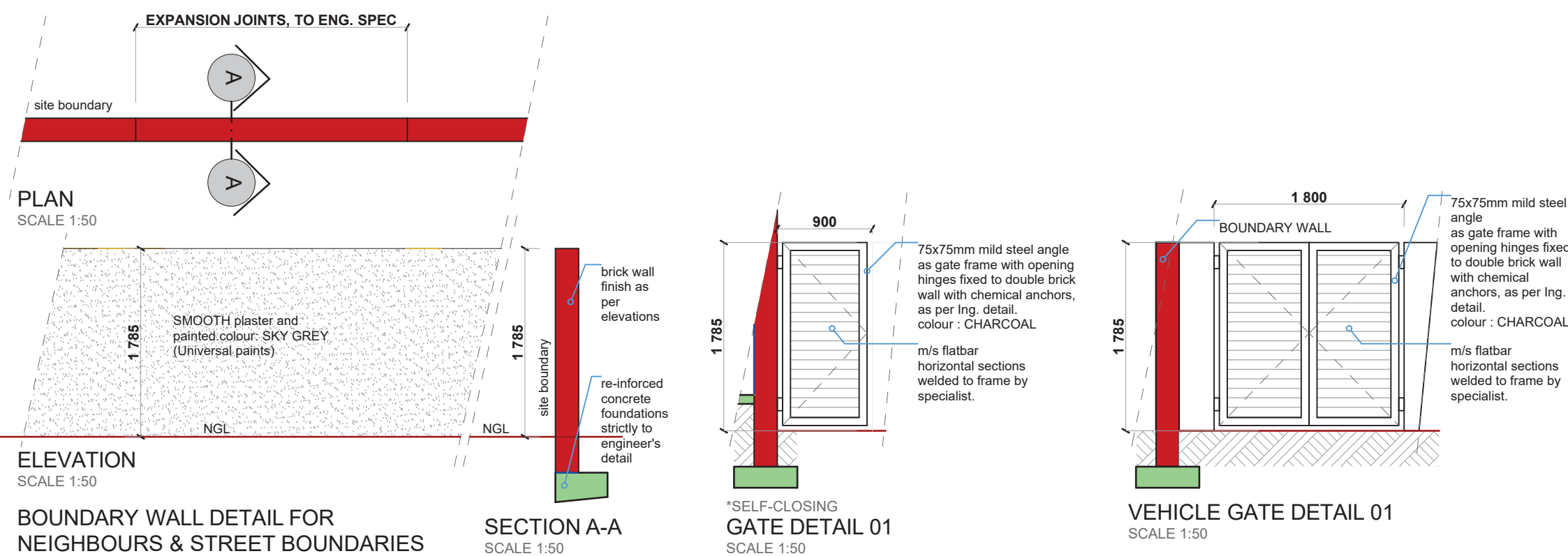




- # NOTES
- GENERAL:

 - All work to be carried out strictly according to the National Building Regulations (NBR) & SABS approved where applicable local by-laws.
 - Any material used must be of the highest quality & SABS approved (where required). All work must be done to the highest quality & by people qualified/certified to do the relevant work.
 - All discrepancies must immediately be brought to the developer/architect.
 - All specialist work to be carried out by an approved specialist.
 - No work to be done without approved architectural drawings or i.e.o. a /76) approval.
 - The work to be done in accordance with approved municipal drawings & all drawings to always keep a copy of the approved drawings on site.
 - All drawings to be read in conjunction with other consultants drawings &/ specifications.
 - All dimensions are in millimetres, unless otherwise shown. Do not scale the drawing & work strictly to written heights & dimensions.
 - Work to be confirmed in writing - all structural work, termite poison, pre-bur trusses; all glazing; all electrical work; any gas installation; other as determined during construction.
 - RESPONSIBILITIES SPECIFICATED AND DRAWING TO BE PROVIDED UNDERNEATH PAPERS:
 - 1. The contractor shall provide to site plan and strictly to architect's details. All boundary walls to comply with SANS 10400-X. 32mm dia weepholes to be provided as shown or as determined on site. No plastic waterproofing to be provided at any level of boundary wall.
 - 2. Foundation to boundary walls at the site's external boundary not to exceed 1m from any existing foundation.
 - 3. Retaining wall to show on site strictly to specialists/engineers detail. (If retained earth) to be built according to plans/detailer/draftsman or determined on site during construction. Riser @ max 170mm. Treads @ min 100mm.
 - 4. Site and external building lighting to specialist/engineers detail.
 - 5. Work to be completed top to bottom of roofline.
 - 6. All landscaping to be done by specialist/landscape architect.
 - 7. Storm water to be channelled on surface as shown on engineer's detail.
- FOUNDATIONS:

 - 1. All excavations for foundations strictly to engineer's detail.
 - 2. Concrete RAFT foundations as per engineers detail. Strip foundation to be provided underneath all 220mm external and internal brick walls, including perimeter walls.
 - 3. Concrete slab thickening strictly to engineers detail and to be provided underneath all perimeter walls, with timber in later-counts as concrete in between exposed trusses with 15mm cellulose fibre insulation on top of ceiling board but below HIRL.
 - 4. All trusses to be anchored with steel wires, strictly according to NBR & RAFT details.
- ROOF/FINISH AS PER SECTION/ELEVATION (incl. all accessories) with reflective membrane (HRM) @ 5x27x6mm SAP Batten @ 1m x 2m/c. Exposed trusses to be properly sealed pre-fab timber trusses with specially designed corner plates. From grade 6 SAP timbers @ 1m x 2m 1.4m c/c, all as per engineer's detail. Levels and gradient as per various drawings. To be finished with gypsum ceiling, with timber in later-counts as concrete in between exposed trusses with 15mm cellulose fibre insulation on top of ceiling board but below HIRL.

- 4. All trusses to be anchored with steel wires, strictly according to NBR & RAFT details.
 - 5. For concrete roofs (if any), approved SABS waterproofing on min. 25mm sloped scribed on min 170mm concrete ribs with drainage to allow for weeping, all on top of roof plane, sections and engineer's detail.
 - 6. Spouts/fallpipes/weepholes all to detail and roof plan. If required.
 - 7. All brick walls as shown and dimensioned on various drawings. All walls to be built with approved clay bricks with brickwork at levels specified by engineer.
 - 8. Pre-fab concrete lintels only over openings in walls that are plastered on both sides, unless otherwise indicated.
 - 9. Face-brick walls (where indicated) to have re-inforced brick on edge (beef) lintels to eng. detail.
 - 10. DPC membranes to be provided at all window sills, under all walls at UFL and wherever else shown. All 340mm retaining walls indicating vertical DCP reinforcement to eng. detail.
 - 11. Re-inforced concrete slabs (if applicable) sizes and specifications strictly according to eng. detail.
 - 12. 65mm concrete surface bed, re-inforced to eng. detail. UFPL as shown but @min 340mm above NGL, on approved termite control on approved foundations.
- SECONDARY STRUCTURE:

 - 1. Powder coated aluminium doors and windows as shown on drawings and specifications. Colour to developer/architect.
 - 2. Hardwood timber door frames with solid external trim and hollow interior, all to schedule. Doors and frames to be painted/stained strictly according to manufacturers spec.
 - 3. Remote controlled alarm system, all fittings strictly to window & door schedule.
 - 4. Remote controlled timber garage door, to door schedule (natural colour).
 - 5. Roof / PERCOLA tumbled roof structures. Exposed pre-fab timber beams & columns with specially designed connection plates, from grade 6 SAP timbers @ 1m x 2m 1.4m c/c. To be finished with gypsum ceiling. Levels and gradient as per various drawings. All exposed timber to be properly sealed and protected by DESIGN & INSTALLATION BY SPECIALIST (to be approved by architect).
- FITTINGS:

 - 1. Hot water supply provided by GAS GEYSOR SYSTEM, by specialist.
 - 2. Brail in cupboard to specialist design and specifications. To be approved by developer/architect.
 - 3. Kitchen Gas burner and electrical oven / as specified by client / developer, all to specialist.
 - 4. Sanitary ware to conform to developer/architect specifications/schedules.
 - 5. Paints to be supplied in bulk. Enam and chimney strictly by specialist and in accordance with the NBR.
- HOA STAMP/APPROVAL:
- HOUSING OWNERS ASSOCIATION OF CLAYVILLE

FOUNDED 1994

CLAYVILLE

APPROVED
- OWNERS' SIGNATURE:
- SEWER CODE

32mm/38mm/50mm (as per NBR) dia PVC-u/wr from various fittings

1/60, outside min HDPE up, min fall 1/80, inside min 400mm deep

1/50mm/min dia PVC up under building, foundations over to be reinforced

Standard 50/100mm dia VV's / VP's as shown on various drawings
- CONSTRUCTION
- CLIENT

NEW DWELING FOR ORCAEAL DEVELOPMENTS ON ERF 1986 CLAYVILLE EXTENSION 117 TOWNSHIP, REGISTRATION DIVISION J.R., PROVINCE OF GAUTENG

DRAWING TITLE FLOOR PLANS, ELEV., DETAILS & SECTIONS

DESIGNED DRAWN SCALE AWA AW 1 : 100 / 1 : 20 / 1 : 50

STAGE CONSTRUCTION DATE

DRAWING NUMBER 25OceanicFB1986-WD01-101

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- Adriaan Wooding Atelier architecture and design workshop

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