

GROUND FLOOR PLAN
SCALE 1:100

D:\OneDrive\Shared Workbench\Working Files\@ P 23 25 ERF 6714\CURRENT\ERF 6714_WD_proposed 450.rvt



AREA SCHEDULE		
Name	Area	Level
GF		
COVERED ENTRANCE	3 m²	GF
COVERED PATIO	33 m²	GF
DINING	25 m²	GF
FOYER	9 m²	GF
GARAGES	81 m²	GF
GUEST WC	4 m²	GF
KITCHEN	21 m²	GF
LIVING	28 m²	GF
PANTRY	5 m²	GF
PASSAGE	2 m²	GF
SCULLERY/LAUNDRY	10 m²	GF
STAFF QUARTERS	15 m²	GF
STAIRCASE	7 m²	GF
STUDY	15 m²	GF
WINE CELLAR	7 m²	GF
GF: 15	265 m²	
FFL		

AREA SCHEDULE		
Name	Area	Level
BATHROOM	8 m²	FFL
BATHROOM 3	6 m²	FFL
BEDROOM 1	19 m²	FFL
BEDROOM 2	18 m²	FFL
BEDROOM 3	18 m²	FFL
DRESSER	12 m²	FFL
GUEST BATHROOM	4 m²	FFL
GUEST BEDROOM	20 m²	FFL
LINK	9 m²	FFL
MAIN BATHROOM	26 m²	FFL
MAIN BEDROOM	24 m²	FFL
PAJAMA LOUNGE	20 m²	FFL
PASSAGE	9 m²	FFL
FFL: 13	191 m²	
Grand total: 28	456 m²	

ALL BUILDING WORK TO COMPLY WITH THE NATIONAL BUILDING REGULATIONS, SABS 0400, SANS 10400, SANS 204, APPLICABLE SABS CODES & BUILDING SOCIETY REGULATIONS

ALL MATERIALS TO BE SABS APPROVED OR AGREEMENT BOARD APPROVED.

HOT WATER SUPPLY: AT LEAST 50% OF THE ANNUAL AVERAGE HOT WATER HEATING REQUIREMENT SHALL BE PROVIDED BY MEANS OTHER THAN ELECTRICAL RESISTANCE HEATING, INCLUDING BUT NOT LIMITED TO SOLAR HEATING, HEAT PUMPS, HEAT RECOVERY FROM OTHER SYSTEMS OR PROCESSES AND RENEWABLE COMBUSTIBLE FUEL. ALL HOT WATER SERVICE PIPES SHALL BE CLAD WITH INSULATION WITH A MINIMUM R-VALUE IN ACCORDANCE WITH SANS 10400A.

FENESTRATION: BUILDINGS WITH UP TO 50% FENESTRATION AREA TO NET FLOOR AREA PER STOREY COMPLY WITH THE MINIMUM ENERGY PERFORMANCE REQUIREMENTS. BUILDINGS WITH A FENESTRATION AREA TO NET FLOOR AREA PER STOREY THAT EXCEEDS 50% SHALL COMPLY WITH THE REQUIREMENTS FOR FENESTRATION IN ACCORDANCE WITH SANS 204. THE AGGREGATE CONDUCTANCE AND SOLAR HEAT GAIN COEFFICIENT OF THE GLAZING IN EACH STOREY SHALL NOT EXCEED THE VALUES OBTAINED BY MULTIPLYING THE NET FLOOR AREA MEASURED WITHIN THE ENCLOSING WALLS WITH THE CONSTANTS, G FOR CONDUCTANCE AND G_{SP} FOR SOLAR HEAT GAIN GIVEN IN TABLE 5 OF SANS 204.

ROOF ASSEMBLIES: A ROOF ASSEMBLY SHALL ACHIEVE THE MINIMUM TOTAL R-VALUE SPECIFIED IN TABLE 7 FOR THE DIRECTION OF HEAT FLOW. FOR CLIMATIC ZONE 1 MINIMUM REQUIRED TOTAL R-VALUE = 3.7 UP. THERMAL INSULATION MATERIAL AND INSTALLATION SHALL COMPLY WITH THE MINIMUM REQUIRED R-VALUE AND TO SANS 204.

$$\text{FAR} = \frac{456 \text{ m}^2}{950 \text{ m}^2} = 0.48$$

$$\text{COVERAGE} = \frac{265 \text{ m}^2}{950 \text{ m}^2} \times 100 = 27$$

SITE AREA	950 m²
COVERAGE	27 %

FIRST FLOOR / GROUND FLOOR RATIO
191 + 9/265 X 100 = 75%
PERMITTED = 75%

OWNER ENGINEER

P 23 25

NEW HOUSE
ERF 6714 MIDSTREAM X 84
MIDSTREAM HEIGHTS
JANU TRUST

centre line architects
CC-BK: 2008 / 200991 / 23

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REV DATE DESCRIPTION

DRAWING TITLE:
FLOOR PLANS & AREAS

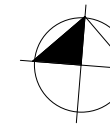
DATE:
JULY 2025

DRAWN BY:
IB

DWG NO:
100

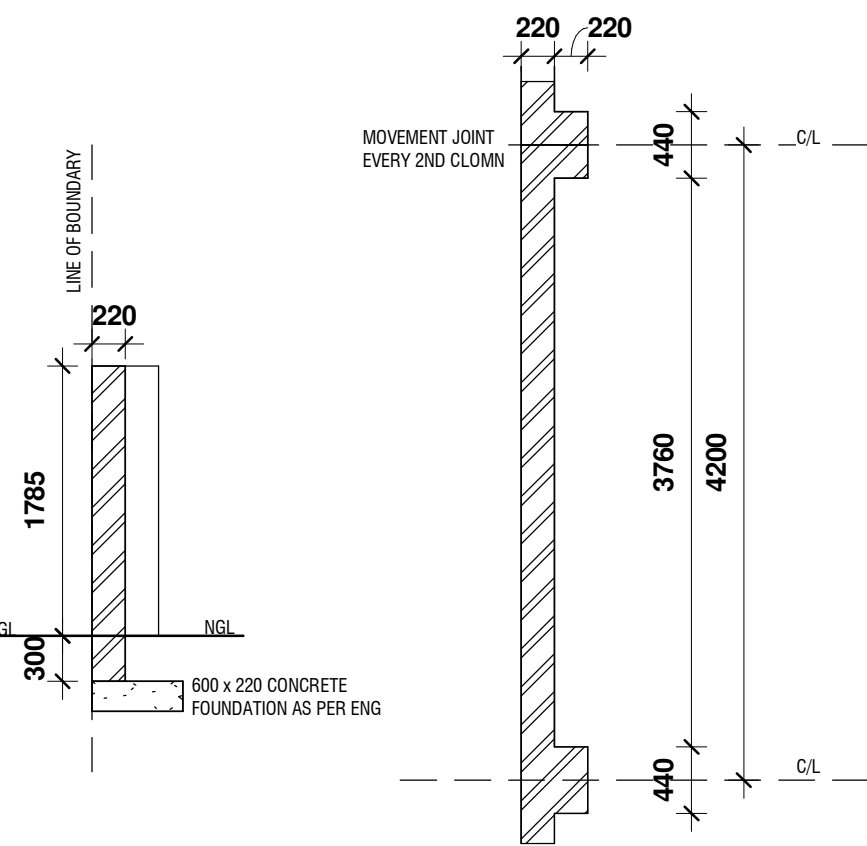
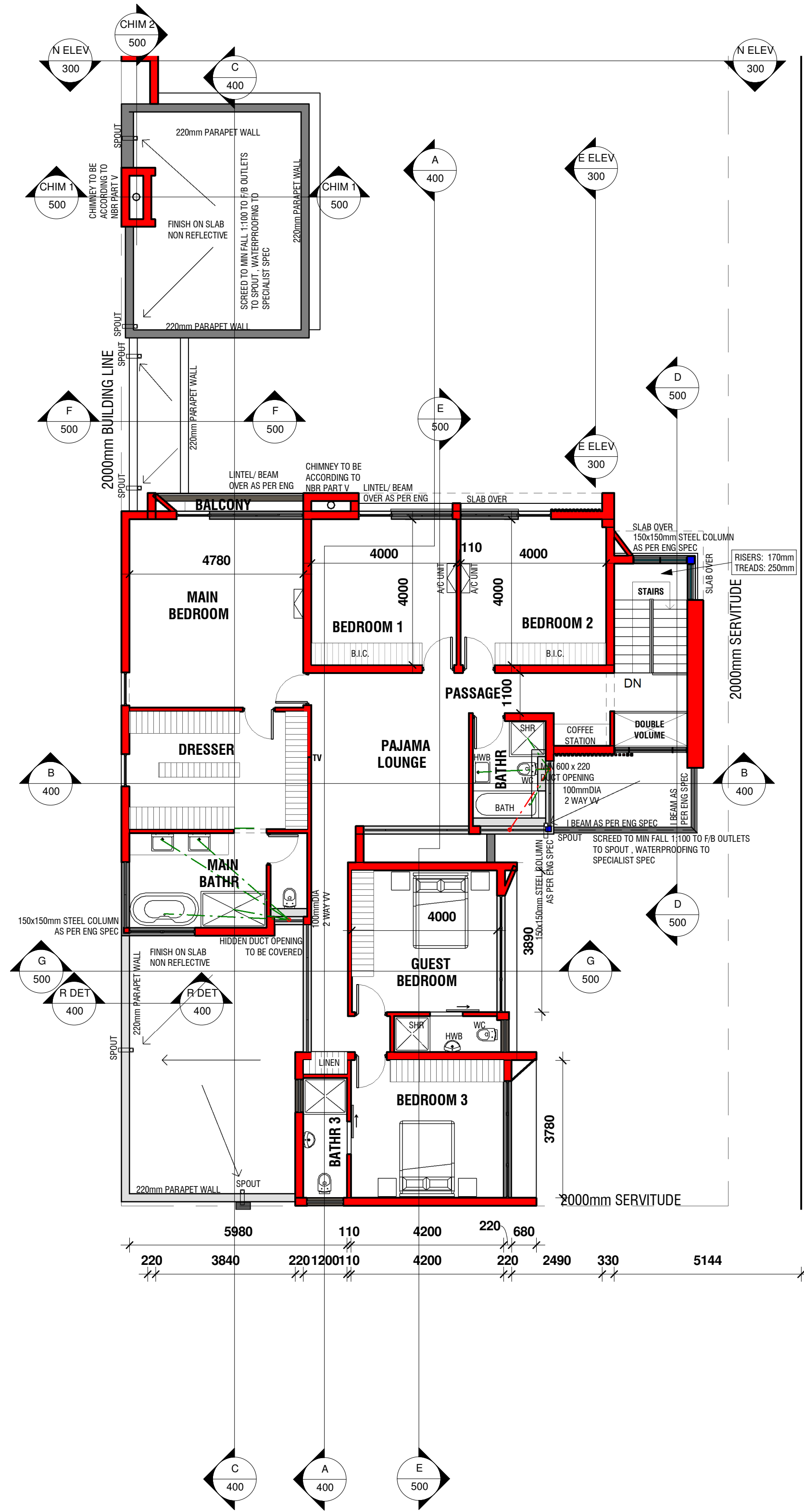
REVISION NO:

2025-08-08-07 10:00:54



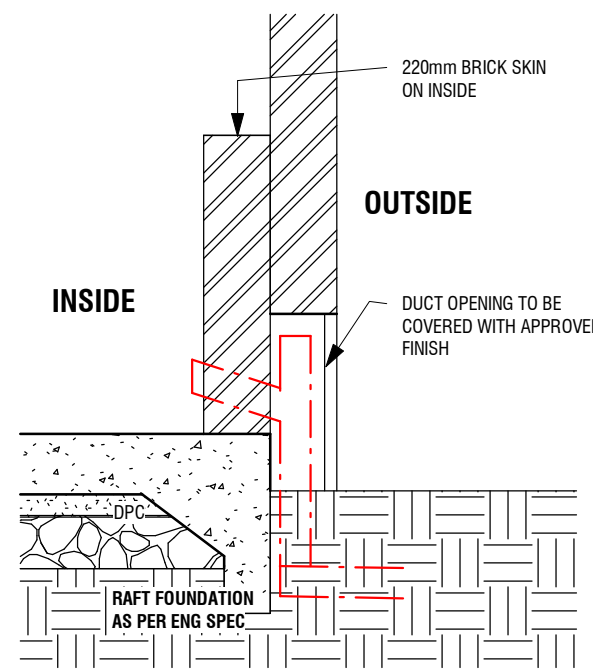
FIRST FLOOR PLAN

1 : 100



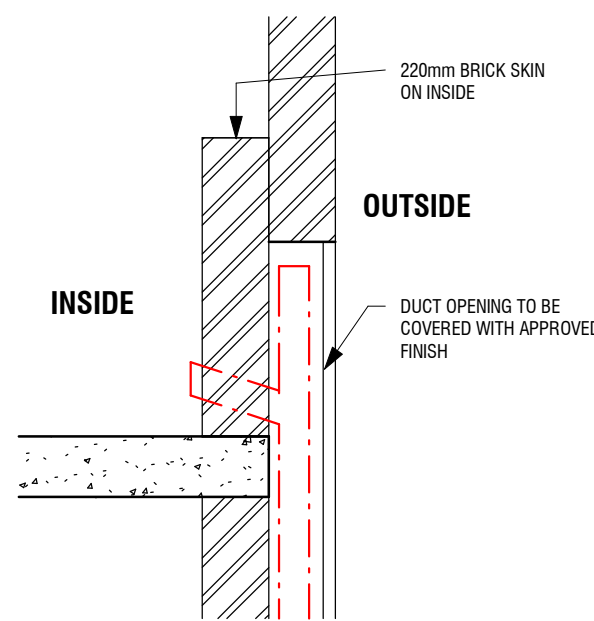
DETAIL OF BOUNDARY WALL

1 : 50



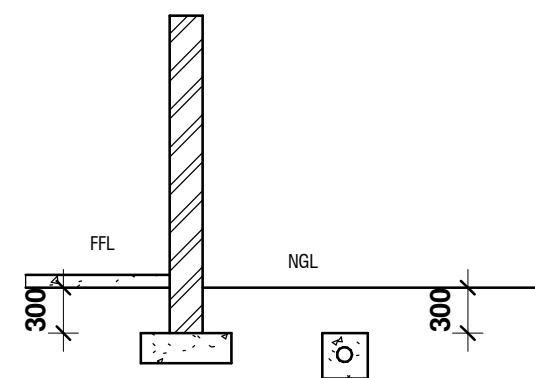
DETAIL OF HIDDEN DUCT ON GROUND FLOOR

1 : 25



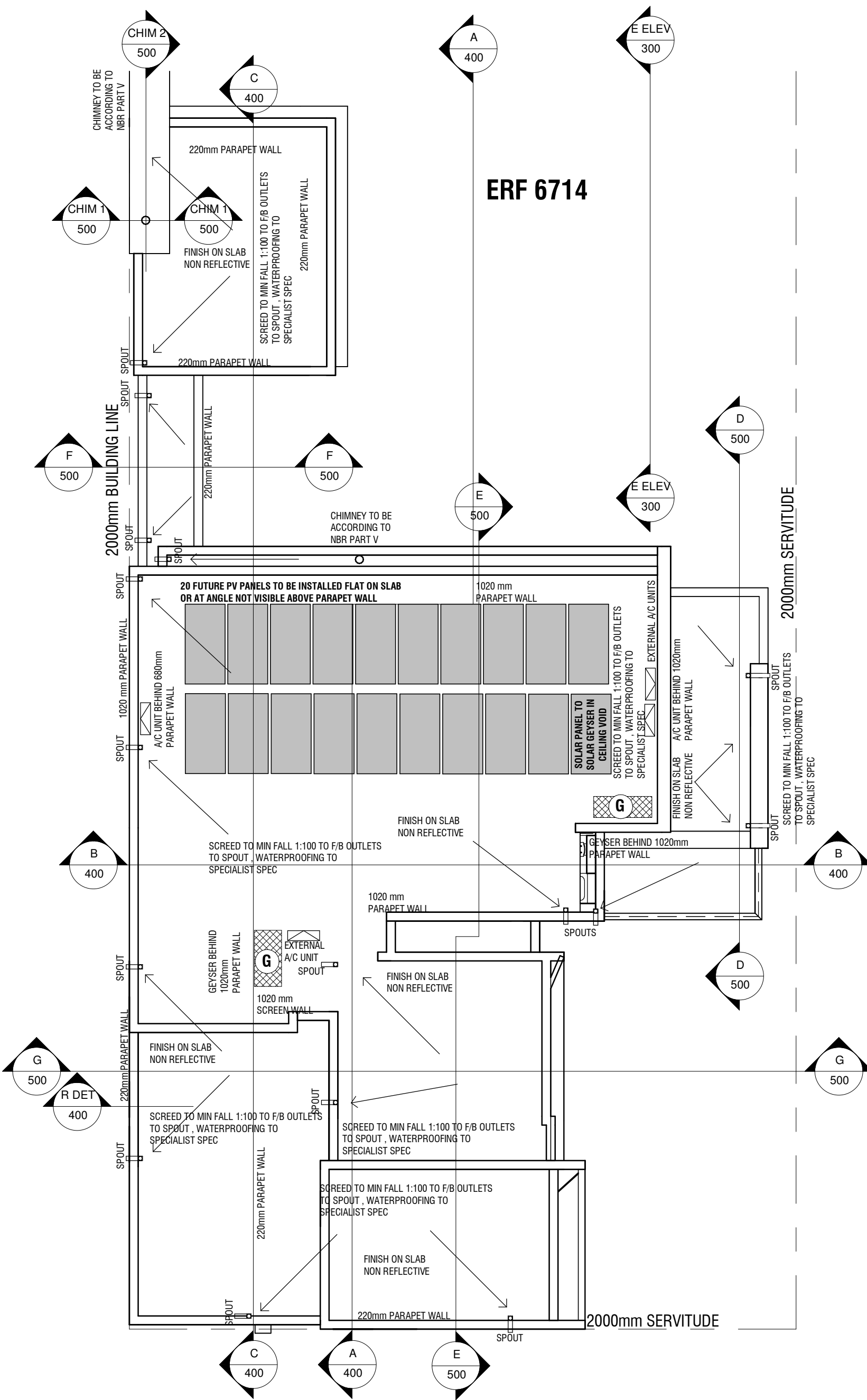
DETAIL OF HIDDEN DUCT ON FIRST FLOOR

1 : 25



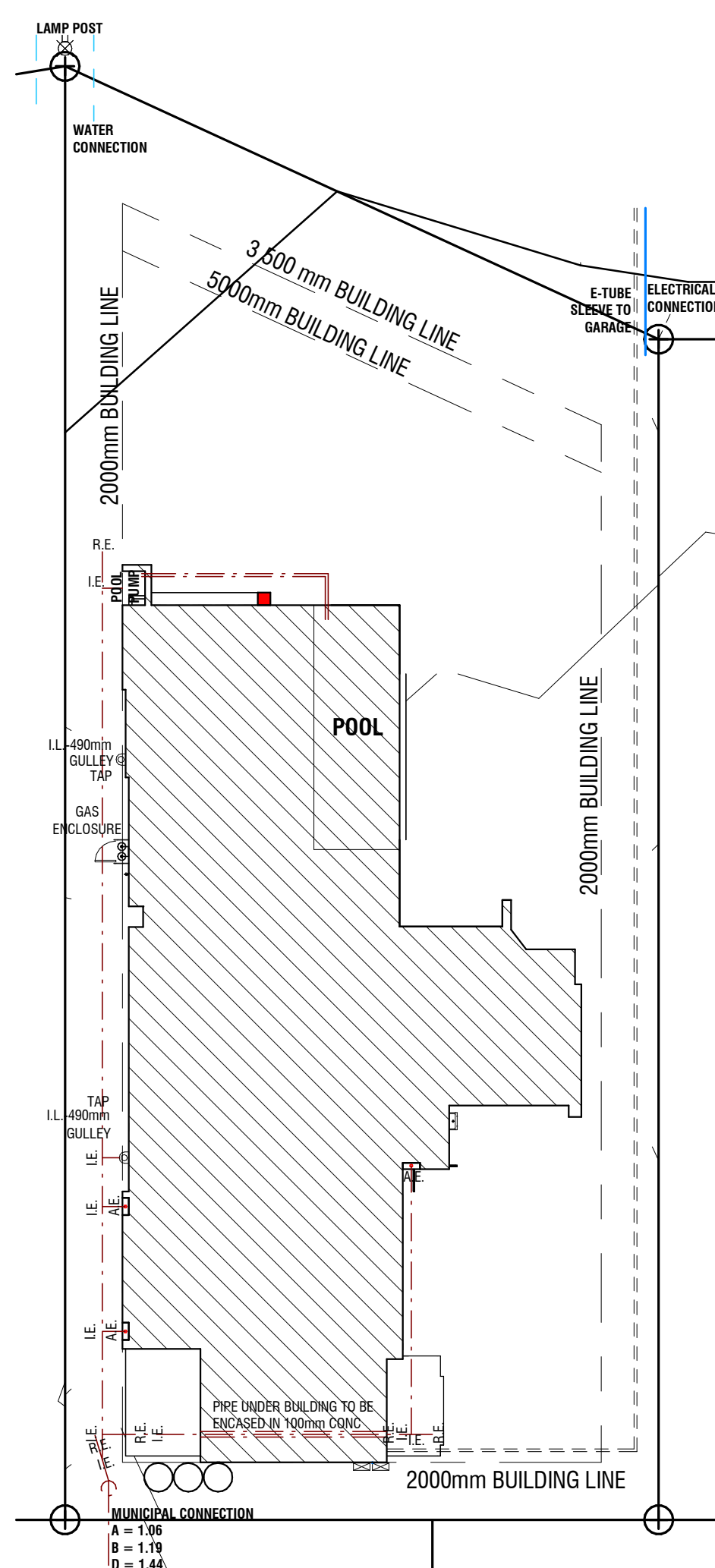
TYPICAL LINING DETAIL

1 : 50



ROOF PLAN

1 : 100



FOUNDATION LAYOUT

1 : 200

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FENESTRATION: BUILDINGS WITH UP TO 10% FENESTRATION AREA TO NET FLOOR AREA PER STOREY COMPLY WITH THE MINIMUM ENERGY PERFORMANCE REQUIREMENTS. BUILDINGS WITH A FENESTRATION AREA TO NET FLOOR AREA PER STOREY THAT EXCEEDS 10% SHALL COMPLY WITH THE REQUIREMENTS FOR FENESTRATION IN ACCORDANCE WITH SANS 204. THE AGGREGATE CONDUCTANCE AND SOLAR HEAT GAIN COEFFICIENT OF THE GLAZING IN EACH STOREY SHALL NOT EXCEED THE VALUES OBTAINED BY MULTIPLYING THE NET FLOOR AREA MEASURED WITHIN THE ENCLOSING WALLS WITH THE CONSTANTS, G FOR CONDUCTANCE AND G_{SH} FOR SOLAR HEAT GAIN GIVEN IN TABLE 5 OF SANS 204.

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OWNER ENGINEER

NEW HOUSE
ERF 6714 MIDSTREAM X 84
MIDSTREAM HEIGHTS
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REV	DATE	DESCRIPTION
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DRAWING TITLE:
FIRST FLOOR, ROOF PLAN
& FOUNDATION LAYOUT

DATE:
JULY 2025

DRAWN BY: IB	DWG NO: 200	REVISION NO:
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