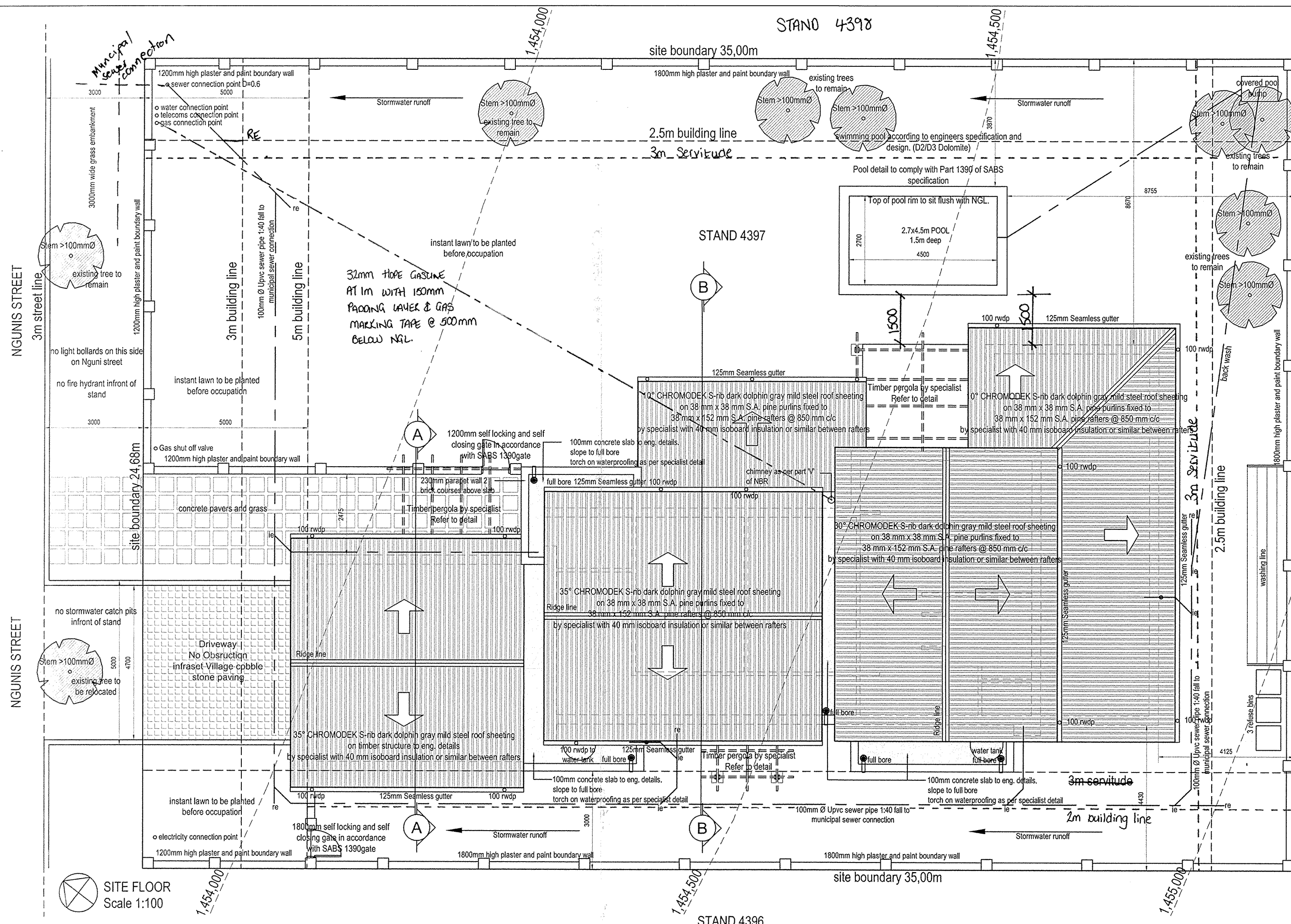
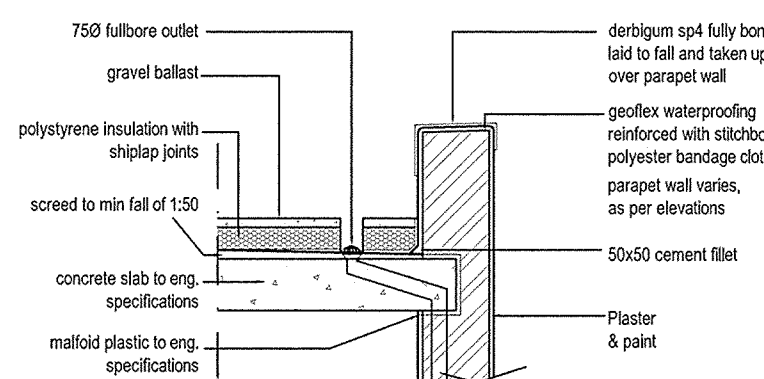




STAND 4400



TYPICAL DETAIL OF INSULATED FLAT CONCRETE ROOFS  
Scale 1:25

TYPICAL DETAIL OF INSULATED TILED/SHEETING PITCHED ROOFS  
Scale 1:25

THICKNESS OF CONCRETE SLAB T.B.D. AS PER ENGINEER'S SPECIFICATIONS & NOT CALCULATED FROM ARCHITECT'S DRAWINGS  
WATERPROOFING APPLICATION TO BE UNDERTAKEN BY APPROVED APPLICATIONS ACCORDING TO MANUFACTURER'S DETAILS

AREA SCHEDULE:

|                                           |                         |
|-------------------------------------------|-------------------------|
| GROUND FLOOR :                            | 207m <sup>2</sup>       |
| FIRST FLOOR :                             | 115m <sup>2</sup>       |
| COVERED PATIO:                            | 26m <sup>2</sup>        |
| STAFF QUARTERS:                           | 14m <sup>2</sup>        |
| <b>TOTAL :</b>                            | <b>362m<sup>2</sup></b> |
| <b>SITE AREA:</b>                         | <b>864m<sup>2</sup></b> |
| <b>COVERAGE :</b>                         | <b>28.6%</b>            |
| <b>FAR:</b>                               | <b>0.41</b>             |
| <b>FIRST FLOOR TO GROUND FLOOR RATIO:</b> | <b>52%</b>              |

OWNER/CONTRACTOR/DEVELOPER  
No construction may proceed on site prior to the approval of drawings by the local authority. Any building work that commences prior to building plan approval is completed is at the owner's own risk. The architect may not be held responsible for any loss or damage whatsoever that may result from building works without approved building plans.

AIR-CONDITIONING NOTE:  
All air-conditioning units are not to be visible from street and must be screened from view.

CONCRETE ROOF AND WATERPROOFING NOTE:  
1. All waterproofing strictly to manufacturer's details and specifications.  
2. Use only specialist subcontractors as recommended by the manufacturer.  
3. The manufacturer (or authorised representative) needs to regularly inspect and approve the preparation and the application and testing of the finished waterproofing membrane.  
4. Waterproofing on slabs is specialised, and the manufacturer takes full design responsibility for all recommended details and specifications; the architect takes no responsibility whatsoever.  
5. Outlets to be recessed at least 100 mm below roof level.  
6. Fall 1/50 desirable, maximum fall 1/80.  
7. Refer to waterproofing association of South Africa details book if manufacturer's details are incomplete or not clear.  
8. A CERTIFICATE OF GUARANTEE AND APPROVAL for the waterproofing will be required upon completion of the works.  
9. Provide 40 mm iso insulation under screed.

Cover waterproofing with 50 mm crushed stone layer.

CHIMNEY NOTE:  
Chimney must comply with SABS 0400/90 part VV1-VV3  
Chimney min 1000mm above roof

ROOF NOTE:  
CROMADEC dolphin gray S-rib roof sheeting  
10 mm x 75 mm S.A.Pine battens at 1200 mm c/c maximum spacing  
with 250 micron thick roof membrane underlay  
Roof pitch 10°  
38 mm x 152 mm x gade 6 rafters and spaced at 850mm centres  
roof timbers must comply with SABS codes: 563, 653, 876, 1089, 1245  
and graded not less than Timber grade 4 in terms of SABS 0400 - LL3.4  
(SABS 1)

Roof anchoring must consist of non-corrosive straps or wires into a wall with a min. depth of 600mm and comply with SABS 0400 - KK13

114 x 38mm S.A.P. wall plate  
Provide ISO - BOARD insulation between purlins

INSTALL GEMSB AD PER SABS 0254

BOUNDARY WALL TO BE FREEBRICK ON NEIGHBOURS SIDE  
GAS INSTALLATION TO COMPLY WITH SANS 10400 AND 987

| REVISIONS.                                                                                           | BY. | DATE.      |
|------------------------------------------------------------------------------------------------------|-----|------------|
| updated as per HOA comments                                                                          | DR  | 21/06/2013 |
| Omitted loft                                                                                         | DR  | 27/06/2013 |
| updated as per HOA comments                                                                          | DR  | 04/07/2013 |
| revised driveway width                                                                               | DR  | 16/07/2013 |
| revised soffit and roof truss heights.<br>changed colour of windows<br>changed size of roof overhang | DR  | 06/08/2013 |

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BAU DESIGN

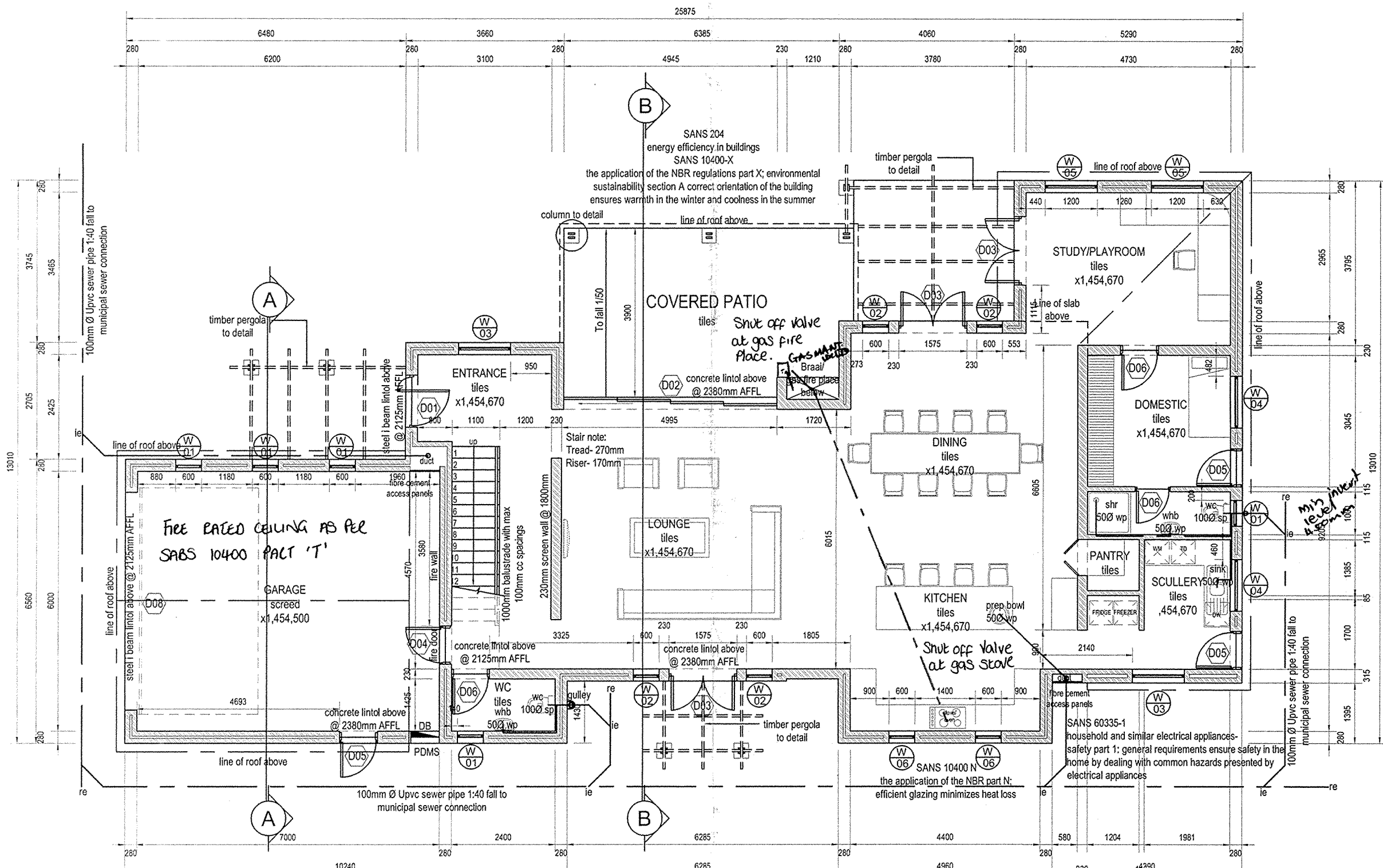
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W 2013-09-05  
BAU Design

PROJECT:  
PROPOSED NEW HOUSE ON STAND No. 4397 SOUTHDOWNS ESTATE  
2013-08-26  
EXT 149  
R. Arch. 2308

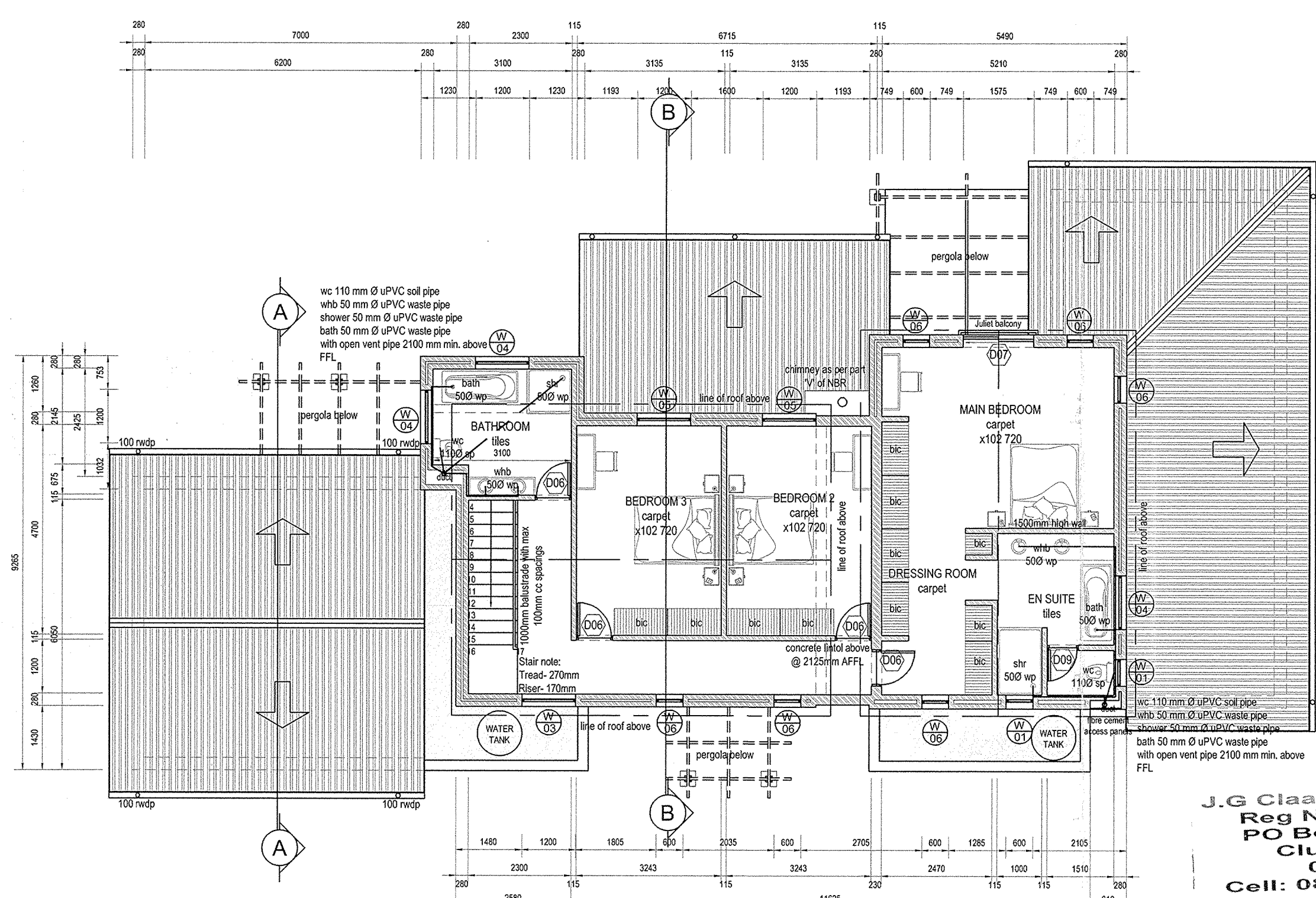
CLIENT:  
Mr. AND Ms. DANNHEIMER

DRAWN BY: D. ROBERTSON

|             |            |                  |
|-------------|------------|------------------|
| FLOOR PLANS |            |                  |
| JOB NUMBER. | 001        | SCALE: 1:100     |
| DRAWING No. | 2013/02/28 | DATE: 01/03/2013 |
|             |            | REVISION: 05     |



GROUND FLOOR PLAN  
Scale 1:100



FIRST FLOOR PLAN  
Scale 1:100

PLAN APPROVED BY  
15 AUG 2013  
ON BEHALF OF SOUTHDOWNS BUILDING COMMITTEE