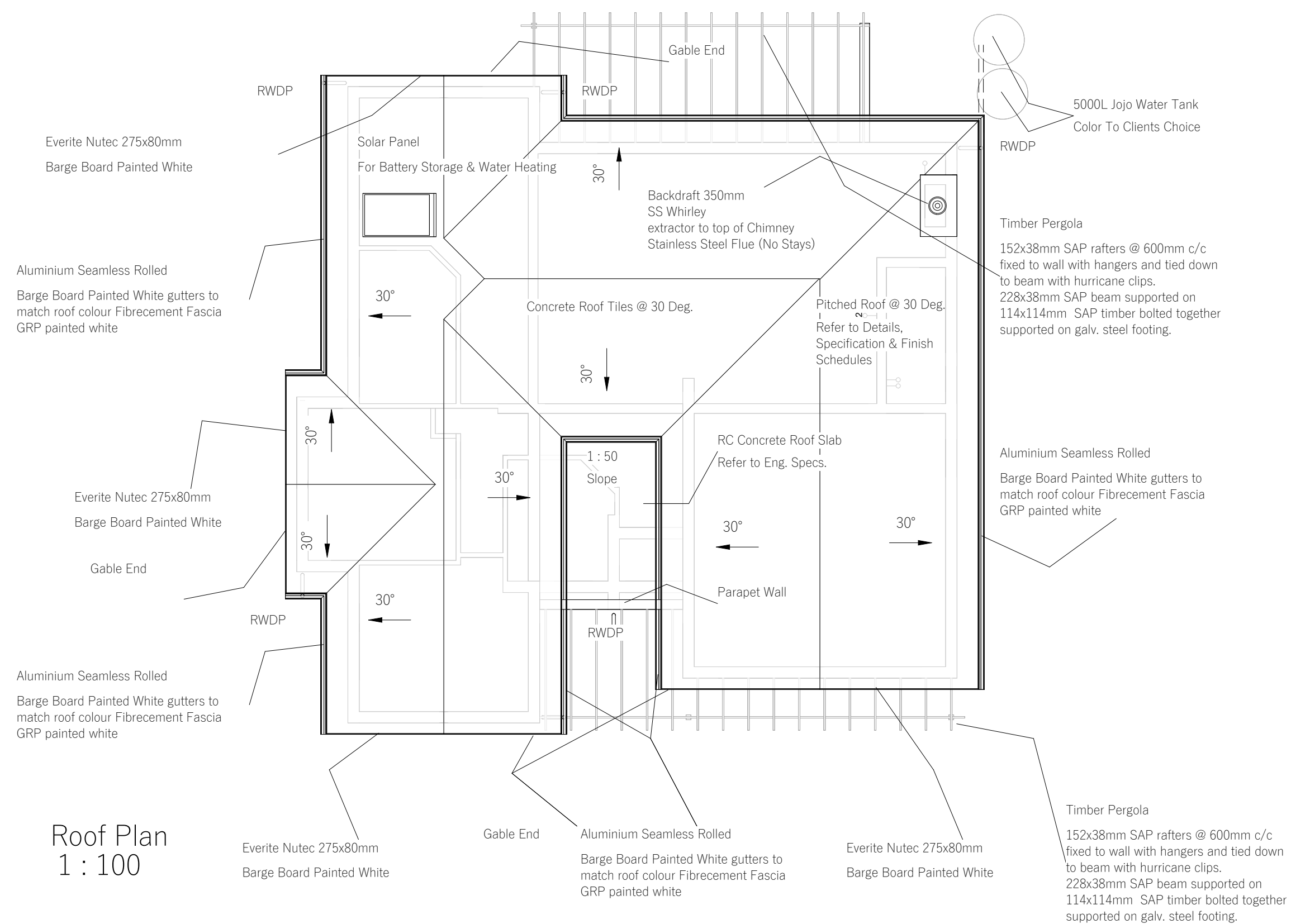
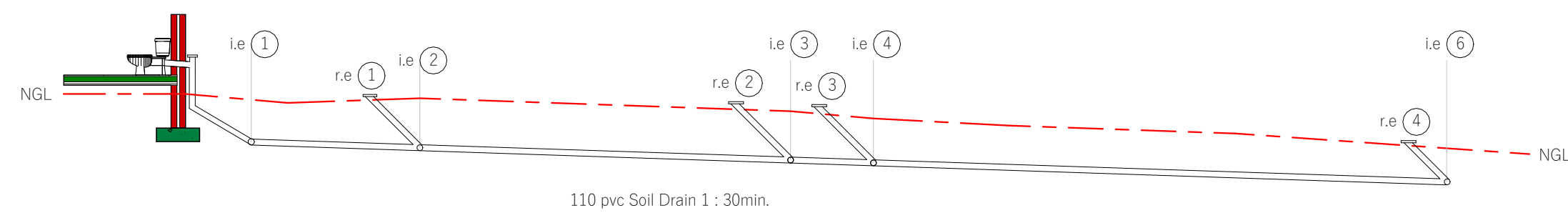
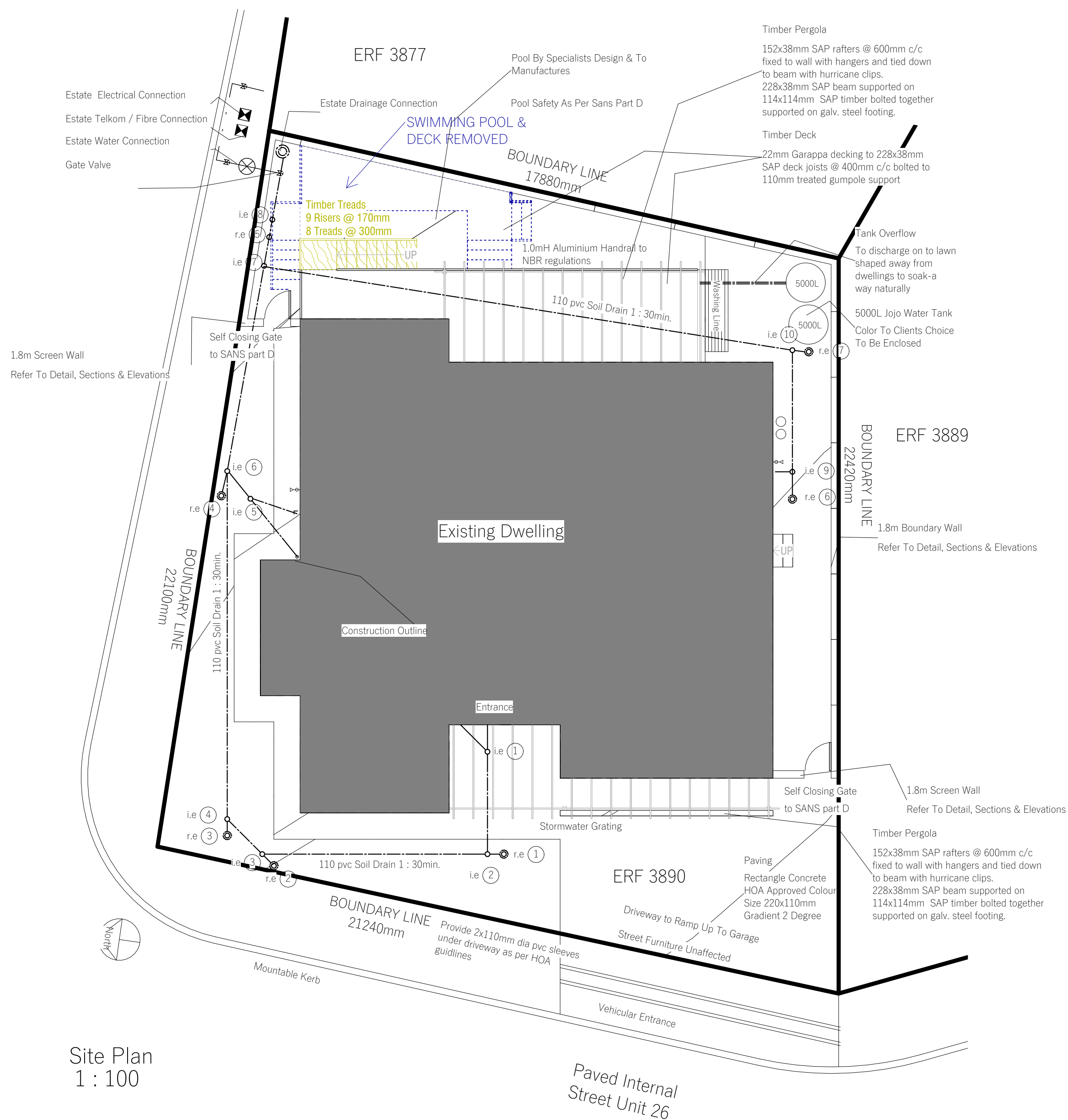


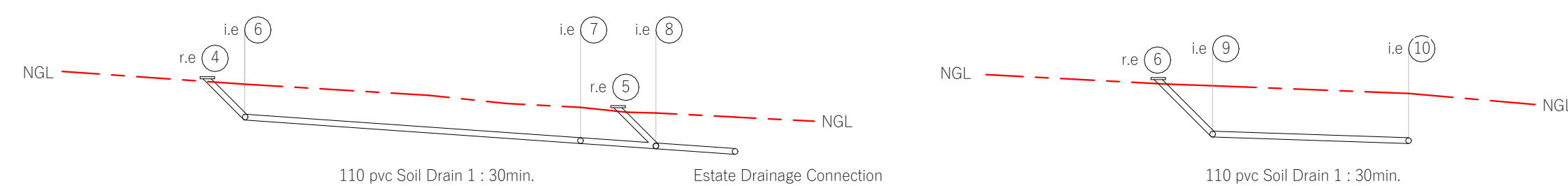


SCHEDULE OF RIGHTS	
ERF NUMBER	3890
TOWNSHIP	Homestead Drive, Sea Vista, St Francis
STREET NUMBER & NAME	Unit Number 7
SITE AREA	444m ²
USE ZONE	Use Zone 1 : Residential
PARKING REQUIREMENT	2 Parking Bays per Unit
HEIGHT RESTRICTION	8.5m
FAR	33.08
Floor Areas	
Ground Floor	147.80m ²
Deck	28.18m ²
Lower Deck	13.05m ²
Garage	42.19m ²
Stoop 1	1.91m ²
Total Floor Area	233.13
Coverage	
Proposed New Dwelling	220.08m ² (49.56 %)
Gross Floor Area	
Ground Floor	147.80m ²
Stoop 1	1.91m ²
Total Floor Area	149.71m²

Revision Schedule	
Revision Number	Revision Description

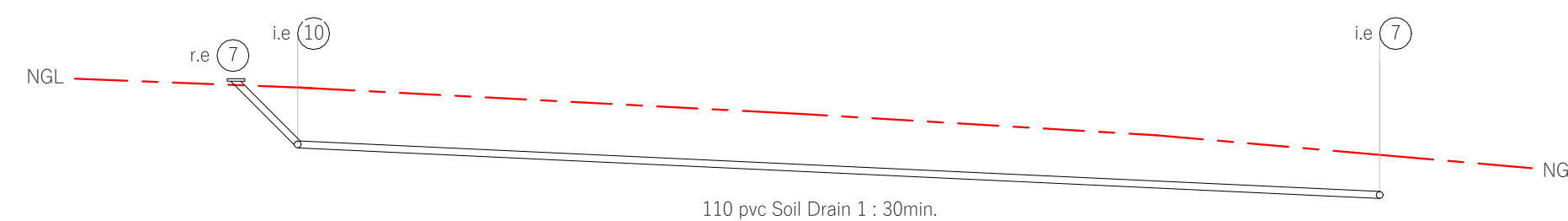


Cover Level	47113	47160	46900	46795	46179
Invert Level	46274	46190	45941	45919	45501
Depth	839	970	959	876	678
Distance	3123	6865	1534	10614	
Fall	1:60	1:60	1:60	1:60	



Cover Level	46179	45782	45676	45600
Invert Level	45501	45098	44999	44892
Depth	678	684	677	708
Distance	6358		1428	
Fall	1:60		1:60	

Cover Level	46946	46800
Invert Level	46032	45908
Depth	914	892
Distance	6358	
Fall	1:60	



Cover Level	46800	45782
Invert Level	45908	45098
Depth	892	684
Distance	170005	
Fall	1:60	

Drainage Section
1 : 100

KOUGA MUNICIPAL STAMP

Homestead Views
Home Owners Association & Aesthetics
Committee

CONDITIONALLY APPROVED

03/07/2023
HBezdrumunt

HSV HOA

Subject to Local Municipal Authority
Approval

All work to be done and all materials to be used have to comply with SANS10400 regulations

- Part A - General Principles
- Part B - Structural Design
- Part C - Dimensions
- Part D - Public Safety
- Part E - Demolition work
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- Part O - Lighting Ventilation
- Part P - Drainage
- Part Q - Storm Water Borne Sanitation
- Part R - Storm Water
- Part S - Disabled
- Part T - Fire Protection
- Part U - Refuse Disposal
- Part V - Space Heating
- Part W - Fire Installations
- Part X - Energy

Energy Efficiency Supplement Documents as per SANS10400 forms part of this set of drawings and specification should be read in conjunction with this documentation's.

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Lighting & Energy Usage:
all fluorescent light fittings to be SABS approved 11W LED
all other light fittings to min. SABS approved 5W LED with 50W output

Timber
all timber work to comply with SABS standards 082 ; 0137 ; 0400
all timber to be treated to SABS specs 1228 of 1994

Space Heating
provision of space heating to comply with SANS10400 part V - where applicable

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SHEET DESCRIPTION
Schedule of Rights, Site Plan, Area Schedules, Roof Plan, Drainage Section
Contour Plan & Setting Out Dimensions

PROPERTY OWNER / AUTHORIZED AGENT The Lifestyle Village (Pty) Ltd	CLIENTS APPROVAL SIGNATURE
--	----------------------------

CLIENTS APPROVAL SIGNATURE

PROJECT ADDRESS	
Unit 26	
Homestead Drive	ERF/HOLDING/PORION
Sea Vista	ERF 3890
St Francis	
Eastern Cape	PREVIOUS PLAN NUMBER
South Africa	

FRE/HOLDING/PORTION

PREVIOUS PLAN NUMBER

NATURE OF PROJECT	DATE 03/07/2023
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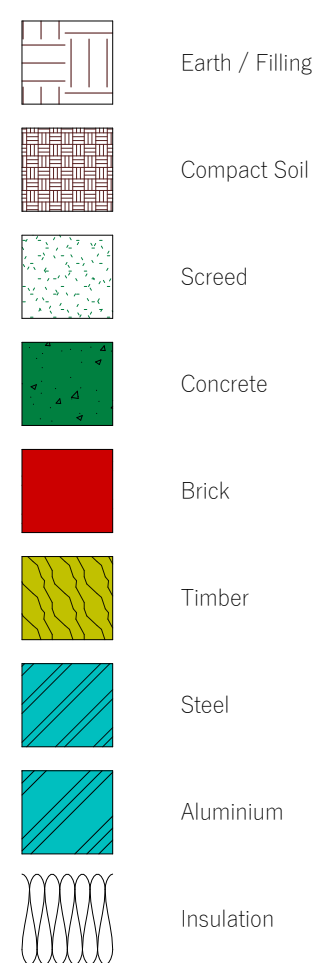
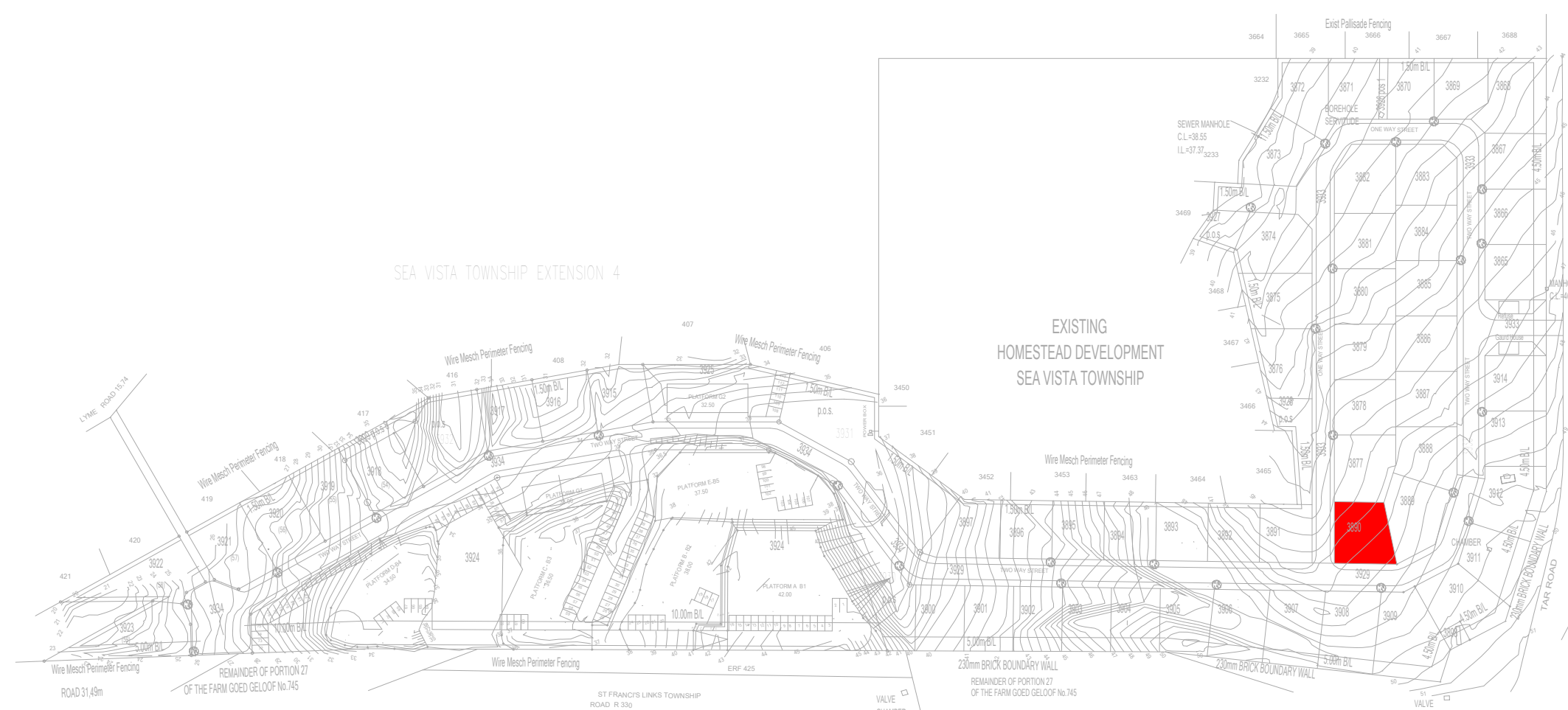
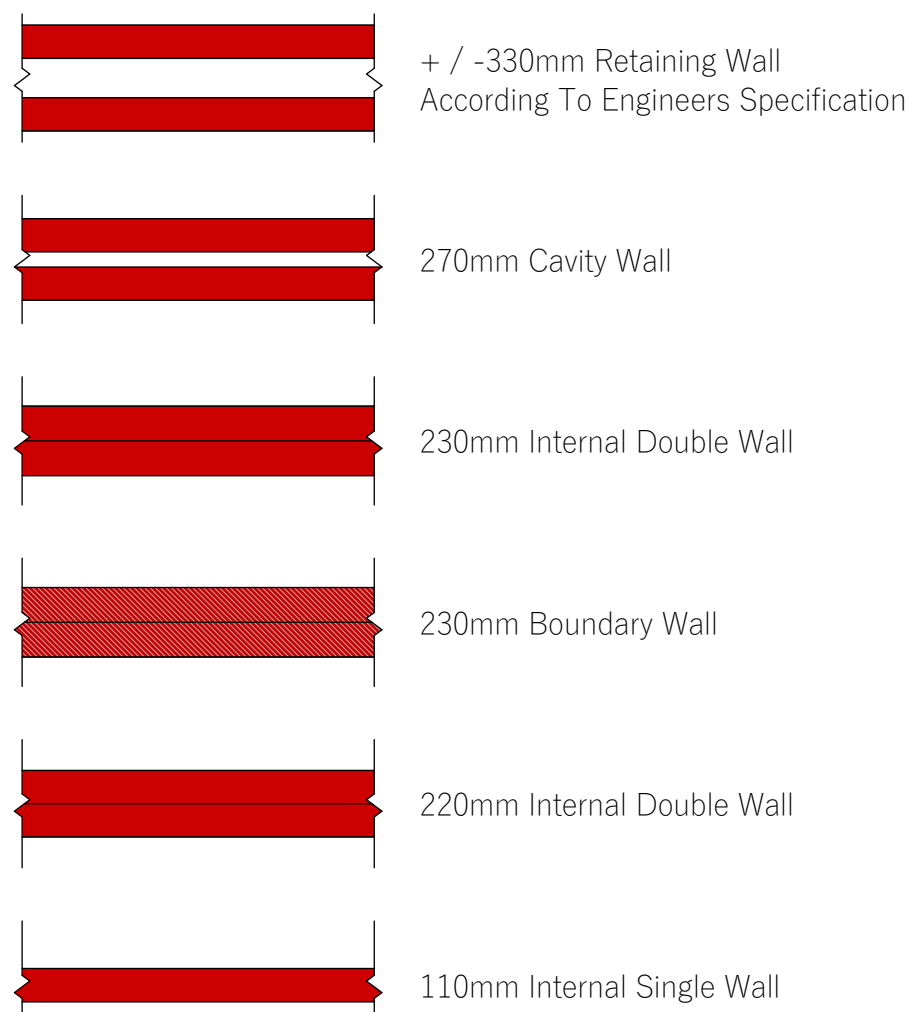
DRAWN J.H	DESIGNED H.B	CHECKED BY H.B	SCALE As indicated
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hennie bezuidenhout

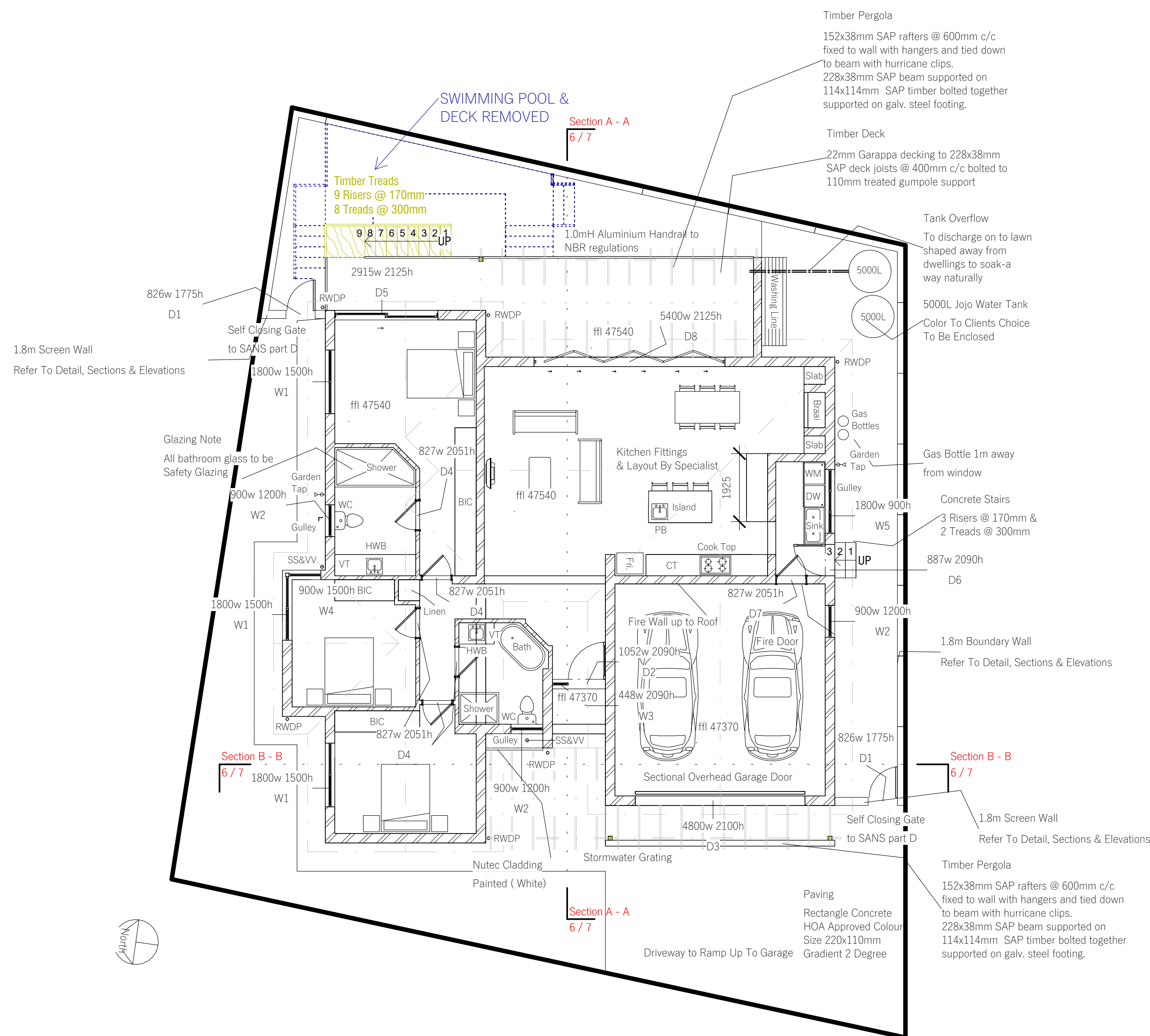
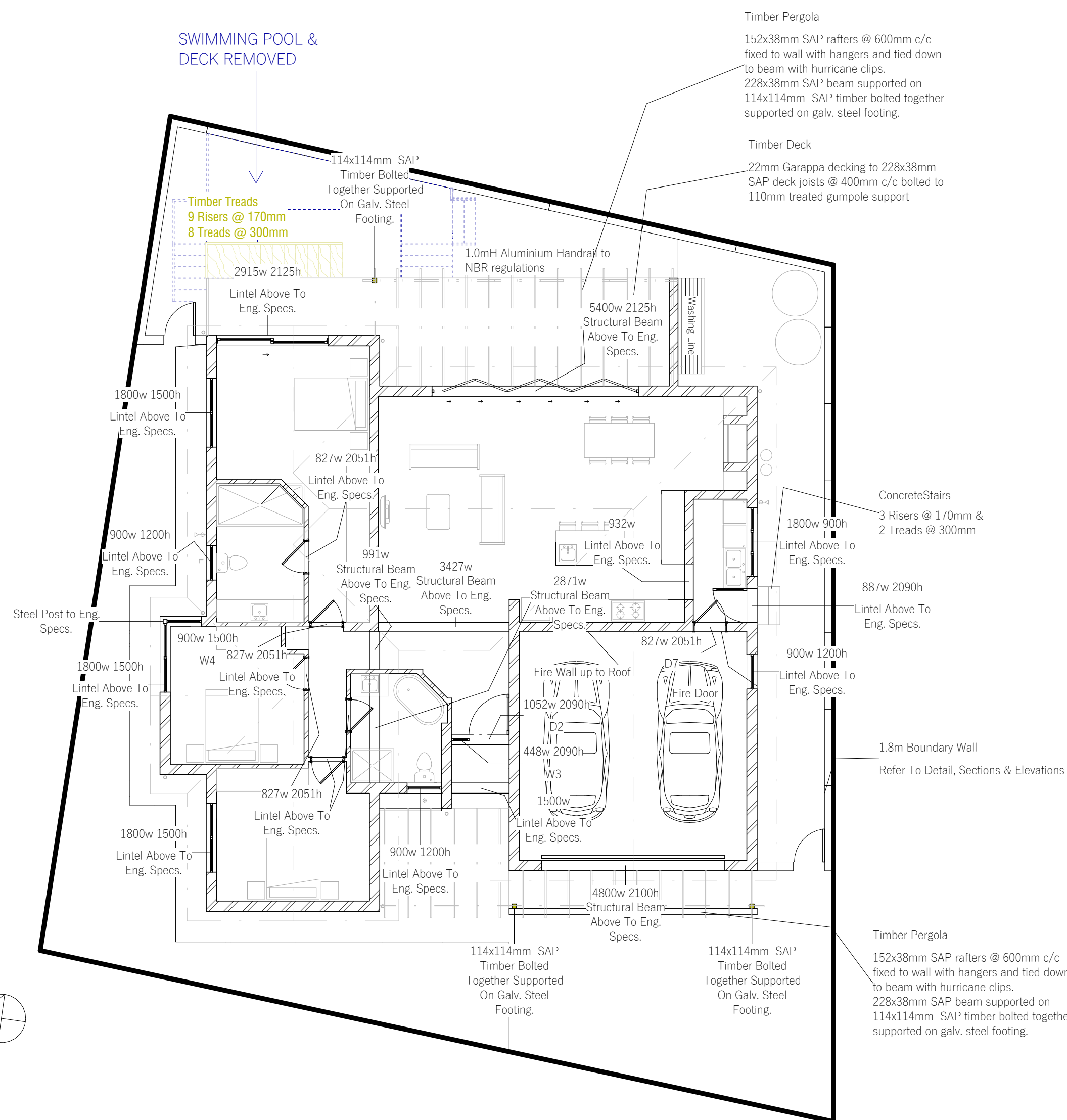
Unit 24, Houtbosch Bay,
Rameron Drive, Aston Bay
cell: 082 553 61583
email : henniearch3@hotmail.com



Professional Indemnity Insurance:
Stalker Hutchison Admiral (Pty) Ltd
Policy No. 7000/146176 SHA

Material Cut Legend
1 : 100Wall Legend
1 : 25

Revision Schedule	
Revision Number	Revision Description
---	Overhead
---	1 Way Switch
---	2 Way Switch
---	110mm Dia Soil Pipe
---	50mm Dia Waste Pipe
---	15mm Cold Water Pipe
---	22mm Potable Water Main Pipe
---	15mm Hot Water Pipe -Solar
---	15mm Hot Water Pipe
---	Boundary Lines
---	Building Lines
---	Channel
---	Day Night Switch
---	Gas Line
---	Height Restriction
---	LED Strip
---	NGL
---	Roof Lines
---	Electrical Cable Line
---	110mm Dia UPVC Pipe Sleeves
---	Timber Bulkhead Above
---	25mm Conduit Sleeves For Telkom/Fibre

Line Legend
1 : 5000 - Ground Storey Plan
1 : 10000 - Ground Storey Structural Elements
1 : 100

KOGUA MUNICIPAL STAMP

Homestead Views
Home Owners Association & Aesthetics
Committee

CONDITIONALLY APPROVED

03/07/2023

HBezdunumst

HSV HOA

HSV HOA

Subject to Local Municipal Authority
ApprovalAll work to be done and all materials to be used have to comply with
SANS10400 regulations

Part A - General Principles
Part B - Structural Design
Part C - Dimensions
Part D - Public Safety
Part E - Demolition work
Part F - Site Operations
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all timber to be treated to SABS specs 1228 of 1994

Space Heating
provision of space heating to comply with SANS10400 part V - where
applicable

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copyright is reserved by him.SHEET DESCRIPTION
Floor Plans, Structural Elements Plan, Locality PlanPROPERTY OWNER / AUTHORIZED AGENT
The Lifestyle Village (Pty) Ltd

CLIENTS APPROVAL SIGNATURE

PROJECT ADDRESS
Unit 26
Homestead Drive
Sea Vista
St Francis
Eastern Cape
South Africa

ERF/HOLDING/PORTION
ERF 3890

PREVIOUS PLAN NUMBER

NATURE OF PROJECT
DATE
03/07/2023

DRAWN J.H	DESIGNED H.B	CHECKED BY H.B	SCALE As indicated
--------------	-----------------	-------------------	-----------------------

hennie
bezuidenhoutArchitectural
Project Management Services
S.A.C.A.P.S.A Reg. no ST 1414Unit 24, Houtbosch Bay,
Ramerom Drive, Aston Bay

cell: 082 553 61583

email : henniearch3@hotmail.com

Date: 03/07/2023

Signature: HBezdunumst

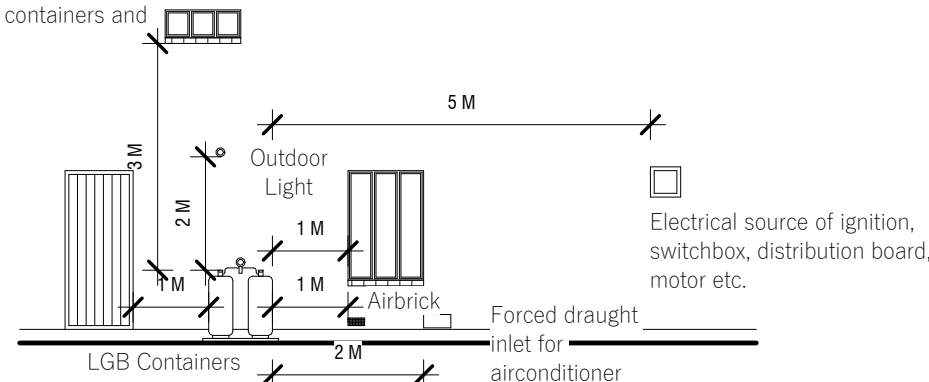
Professional Indemnity Insurance:
Stalker Hutchison Admiral (Pty) Ltd
Policy No. 7000/146176 SHA

	Light Switch		TV Point		Pendent		Floor Light		Random LED Starlight / Strip lighting		Pool Light
	300h Double Plug Switch		Ceiling & Downlight Fan		Downlight		Exterior Wall Light		Geyser		Garden Light
	1100h Double Plug		IP Network Point		Ceiling Light		Satellite Dish		Stove Point		Exterior Ceiling Light
	Waterproof Plug		Main Distribution Board		Garden Light		LED Ceiling Light		Interior Wall Light		Inverter

Electrical & Lighting Legend
1 : 50

Average daily water consumption (hot and cold) appliances				Hot water demand, storage and heater power requirements	
Domestic & Commercial appliances	L/operation	No of Fittings	Total/L/operation	Total hot water demand	690L
Bath	80-90	0	0	Storage volume at 60° C	300L - required 300L - SUPPLIED
Clothes Washing machine	60-180	1	150	(2 x 5000L Water Storage on site)	
Dishwashing machine	3-70	1	60	WATER SUPPLY & RETICULATION NOTES:	
Shower	3-6a	2	19	ALL EXPOSED HOT WATER PIPES WITH < 80mmø TO HAVE LAGGING WITH A MIN. R-VALUE = 1	
Wash-hand basin	4-8	2	16	WATER SUPPLY TO BE AVAILABLE BY LOCAL COUNCIL	
WC flushing valve	8-10	2	20	300L GEYSER STORAGE CAPACITY - TO PROVIDE 50% HEATING CAPACITY	
			265	SOLAR PANEL TO PROVIDE 50% OF HEATING CAPACITY	
Domestic Appliances	L/day	Person Served	Total/L/day/person served		
Car washing and garden use	3-6	6	36		
Drinking, food prep & cooking	18-22	6	120		
Laundry	10-15	6	90		
Personal washing & bathing	20-30	6	180		
Washing dishes	8-12	6	72		
WC flushing	32-40	6	240		
			738L		
			Total	1009L	
Hot water demand, storage and heater power requirements					
1.	2.	3.	4.		
Premises	Total hot water demand	Storage volume at 60° C	Heater power*		
Dwelling	(115-140) L/capita/d	(40-50) L/capita	2-5 kW/unit		
Medium to High Rental					

May be reduced to 300mm provided that a non combustible roof is installed between the containers and the window

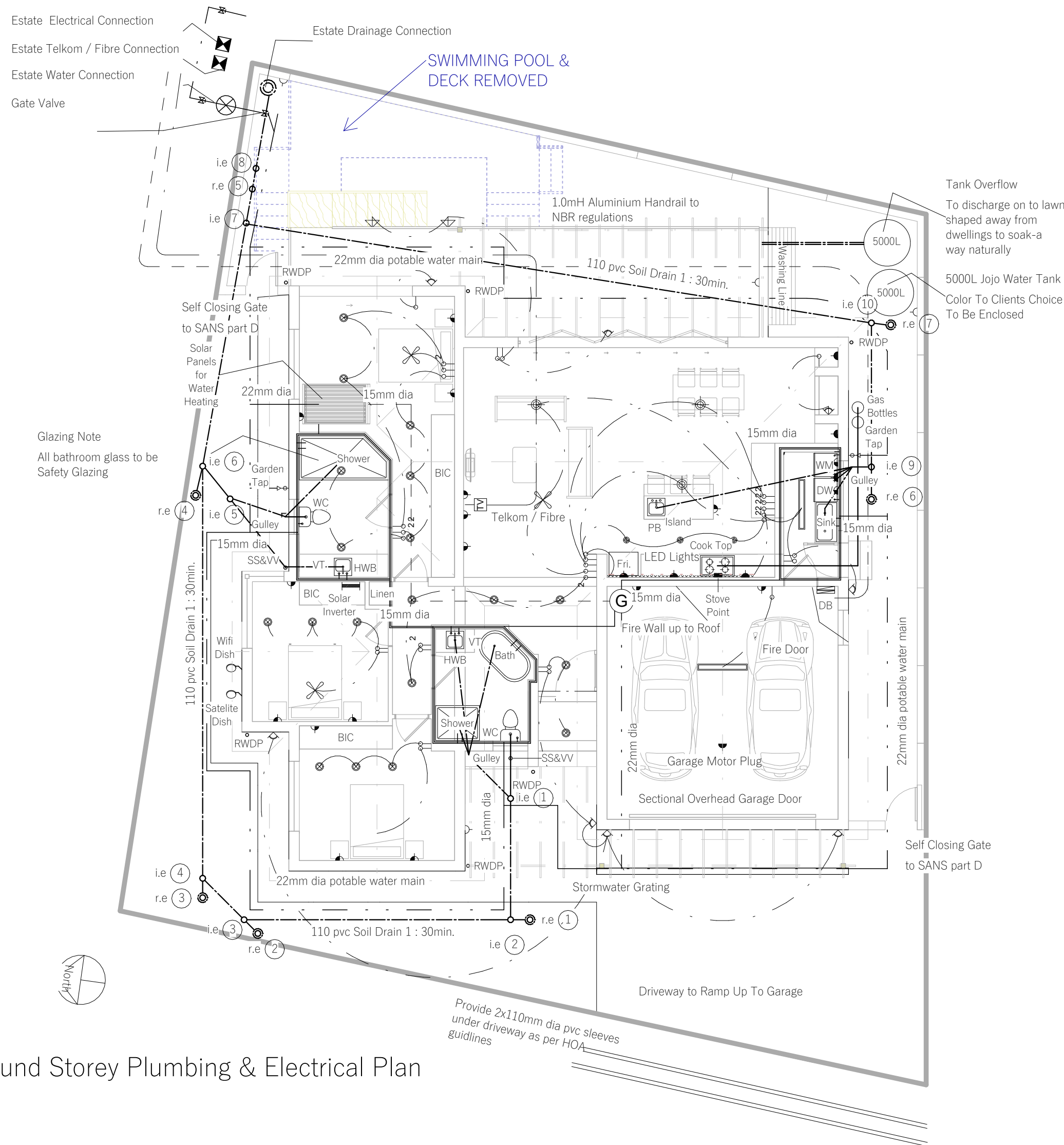


GAS Installation diagram as per SANS 10087 - Installation by Specialist

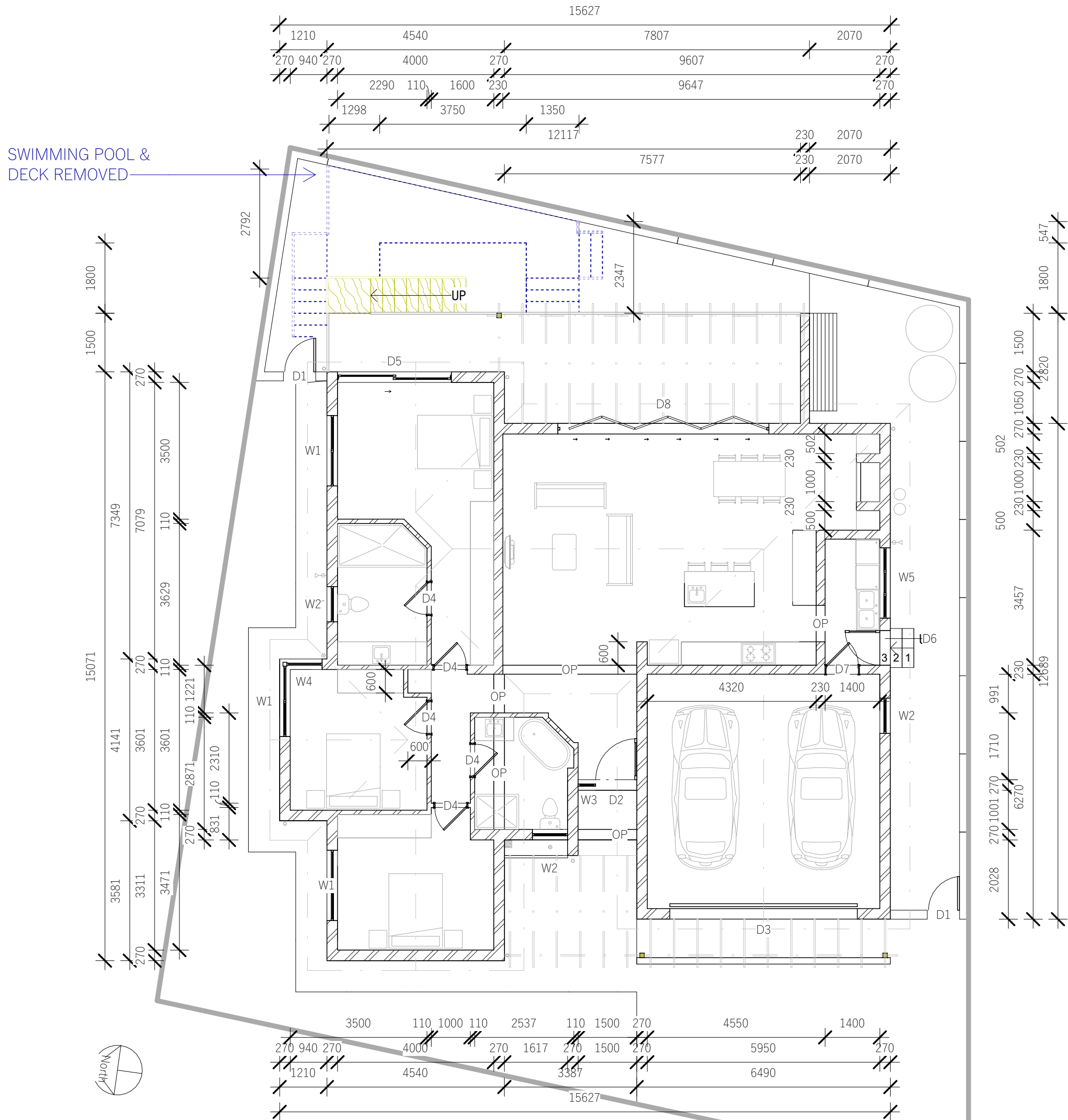
Gas Legend
1 : 100

Minimum R-Value of pipe insulation	
1	2
Internal diameter of pipe mm	Minimum R-value*
≤80	1,00
>80	1,50
* Determined with a hot surface temperature of 60° C and an ambient temperature of 15° C.	

R- Value of pipe insulaton
1 : 50



00 - Ground Storey Plumbing & Electrical Plan
1 : 100



00 - Ground Storey Plan Dimensions
1 : 100

Revision Schedule	
Revision Number	Revision Description

Electrical Fixture Schedule	
Family	
300h Double Plug Switch	18
1100h Double Plug Switch	7
DB	1
Light Switch	31
M_Water Heater	1
Satellite Dish	1
Solar Inverter	1
Solar_Hot_Water_Panel_9390	1
Stove Point	1
TV Point	1
Waterproof Plug	4
Wifi Dish	1

Lighting Fixture Schedule	
Family	
Ceiling Fan	3
Ceiling Light	19
Downlight	2
Exterior Wall Light	7
Interior Wall Light	1
LED Ceiling Light	2
Pendant Light	3
Pool Light	2

Plumbing Fixture Schedule	
Family	
Garden Tap	2
Gas Bottle	2
Hand Wash Basin	2
Jojo Tank	2
M_Tub-Free Standing-3D	1
Prep Bowl	1
Shower	2
Sink Double	1
Water Closet	2

KOUGA MUNICIPAL STAMP

Homestead Views
Home Owners Association & Aesthetics
Committee

CONDITIONALLY APPROVED
03/07/2023
HBezuidenhout
HSV HOA
Subject to Local Municipal Authority Approval

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all timber to be treated to SABS specs 1228 of 1994

Space Heating
provision of space heating to comply with SANS10400 part V - where applicable

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SHEET DESCRIPTION
Floor Plans Dimensions, Plumbing & Electrical Plan, Electrical & Lighting Legend, Gas Legend, R-Value of pipe insulation

PROPERTY OWNER / AUTHORIZED AGENT
The Lifestyle Village (Pty) Ltd

CLIENTS APPROVAL SIGNATURE

PROJECT ADDRESS
Unit 26
Homestead Drive
Sea Vista
St Francis
Eastern Cape
South Africa

ERF/HOLDING/PORTION
ERF 3890
PREVIOUS PLAN NUMBER

NATURE OF PROJECT
DATE
03/07/2023

DRAWN J.H DESIGNED H.B CHECKED BY H.B SCALE As indicated

hennie bezuidenhout
Architectural
Project Management Services
S.A.C.A.P.S.A Reg. no ST 1414
Unit 24, Houtbosch Bay,
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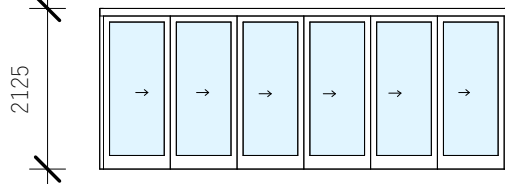
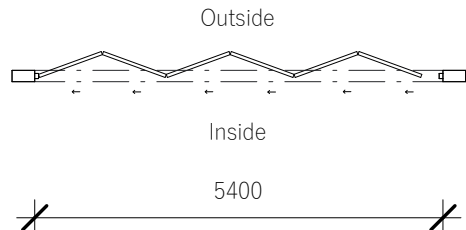
Date: 03/07/2023
Signature: *HBezuidenhout*

PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST
HENNIE BEZUIDENHOUT
07:58 AM (Africa/Johannesburg) on 03 May 2024

Professional Indemnity Insurance:
Stalker Hutchison Admiral (Pty) Ltd
Policy No. 7000/146176 SHA

Revision Schedule	
Revision Number	Revision Description

Number	D1	D2	D3	D4	D5	D6	D7
Dimensions	1775h x 826w	2090w x 1052w	2100h x 4800w	2076w x 877w	2125h x 2915w	2090w x 877w	2076h x 877w
Elevation							
Plan View							
Type	Pedestrian Gate	Front Door	Sectional Overhead Garage Door	Deep Moulded Classique -HINGED	Sliding Door	Back Door	Fire Door
Frame Material	Steel -Galvanized	Aluminium -Powdercoated	Steel -Galvanized	Hardwood Door Frame -55 x 90 x 2073	Aluminium -Powdercoated	Aluminium -Powdercoated	Hardwood Door Frame -55 x 90 x 2073
Colour	Unchanged	Charcoal -Matt	Charcoal -Matt	Refer - Swartland Codes	Charcoal -Matt	Charcoal -Matt	Refer - Swartland Codes
Ironmongery	To Clients Choice	To Clients Choice	To Clients Choice	To Clients Choice	To Clients Choice	To Clients Choice	To Clients Choice
Panel Material	Nutec Paneling	Single Clear -Safety	Aluminium -Powdercoated	Refer - Swartland Codes	Single Clear -Safety	Single Clear -Safety	Refer - Swartland Codes

Number	D8
Dimensions	2125h x 5400w
Elevation	
Plan View	
Type	Stacking Bifold Door
Frame Material	Aluminium - Powdercoated
Colour	Charcoal -Matt
Ironmongery	To Clients Choice
Panel Material	Single Clear -Safety

Door Information								
Door Type	Door Number	Height	Width	Head Height	Area	XA or Non XA	From Room: Name	Orientation
D1	1	1775	826	2160	1.47 m²	Non XA		N/A
D1	2	1775	826	1620	1.47 m²	Non XA		N/A
D2	1	2090	1062	2090	2.20 m²	XA	Stoop 1	West
D3	1	2100	4800	1930	10.08 m²	Non XA	Double Garage	West
D4	1	2051	827	2051	1.70 m²	Non XA	Foyer / Passage	Interior
D4	2	2051	827	2051	1.70 m²	Non XA	Foyer / Passage	Interior
D4	3	2051	827	2051	1.70 m²	Non XA	Foyer / Passage	Interior
D4	4	2051	827	2051	1.70 m²	Non XA	Bathr. 2	Interior
D4	5	2051	827	2051	1.70 m²	Non XA	Bedroom 1	Interior
D6	1	2125	2915	2125	6.19 m²	XA	Bedroom 1	East
D6	1	2090	887	2090	1.85 m²	XA	Scullery	South
D7	1	2051	827	2051	1.70 m²	Non XA	Double Garage	West
D8	1	2125	5400	2125	11.48 m²	XA	Deck	East

Window Information									
Window Type	Window Number	Width	Height	Head Height	Sill Height	Area	XA or Non XA	From Room: Name	Orientation
W1	1	1800	1500	2125	625	2.70 m ²	XA	Bedroom 3	North
W1	2	1800	1500	2125	625	2.70 m ²	XA	Bedroom 2	North
W1	3	1800	1500	2125	625	2.70 m ²	XA	Bedroom 1	North
W2	1	900	1200	2125	925	1.08 m ²	Non XA	Double Garage	South
W2	2	900	1200	2125	925	1.08 m ²	Non XA	Bathr. 2	West
W2	1	900	1200	2125	925	1.08 m ²	Non XA	Bathr. 1	North
W3	1	448	2090	2090	0	0.94 m ²	XA	Stoop 1	West
W4	1	900	1500	2125	625	1.35 m ²	XA	Bedroom 2	East
W5	1	1800	900	2125	1225	1.62 m ²	XA	Scullery	South
						15.25 m ²			

W1	1	1800	1500	2125	625	2.70 m ²	XA	Bedroom 3	North
W1	2	1800	1500	2125	625	2.70 m ²	XA	Bedroom 2	North
W1	3	1800	1500	2125	625	2.70 m ²	XA	Bedroom 1	North
W2	1	900	1200	2125	925	1.08 m ²	Non XA	Double Garage	South
W2	2	900	1200	2125	925	1.08 m ²	Non XA	Bathr. 2	West
W2	1	900	1200	2125	925	1.08 m ²	Non XA	Bathr. 1	North
W3	1	448	2090	2090	0	0.94 m ²	XA	Stoop 1	West
W4	1	900	1500	2125	625	1.35 m ²	XA	Bedroom 2	East
W5	1	1800	900	2125	1225	1.62 m ²	XA	Scullery	South
							15.25 m ²		

Door Legend
1 : 100

Number	W1	W2	W3	W4	W5
Dimensions	1500h x 1800w	1200h x 900w	2090h x 448w	1500h x 900w	900h x 1800w
Elevation					
Plan View					
Type	Top Hung	Top Hung	Fixed Pane	Fixed Pane	Top Hung
Frame Material	Aluminium - Powdercoated	Aluminium - Powdercoated	Aluminium - Powdercoated	Aluminium - Powdercoated	Aluminium - Powdercoated
Colour	Charcoal -Matt	Charcoal -Matt	Charcoal -Matt	Charcoal -Matt	Charcoal -Matt
Ironmongery	To Clients Choice	To Clients Choice	To Clients Choice	To Clients Choice	To Clients Choice
Glazing	Single Clear -Safety	Single Clear -Obscure Safety	Single Clear -Safety	Single Clear -Safety	Single Clear -Safety

Window Legend
1 : 100

KOUGA MUNICIPAL STAMP

Homestead Views
Home Owners Association & Aesthetics
Committee

CONDITIONALLY APPROVED

03/07/2023



HSV HOA

HBezdummt

HSV HOA

Subject to Local Municipal Authority
Approval

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- | | |
|--------|----------------------|
| Part A | General Principles |
| Part B | Structural Design |
| Part C | Dimensions |
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SHEET DESCRIPTION
Door & Window Legend

PROPERTY OWNER / AUTHORIZED AGENT The Lifestyle Village (Pty) Ltd				CLIENTS APPROVAL SIGNATURE	
PROJECT ADDRESS Unit 26 Homestead Drive Sea Vista St Francis Eastern Cape South Africa					
				ERF/HOLDING(PORION) ERF 3890	
				PREVIOUS PLAN NUMBER	
NATURE OF PROJECT				DATE 03/07/2023	
DRAWN J.H	DESIGNED H.B	CHECKED BY H.B	SCALE 1:100		

hennie bezuidenhout

Architectural
Project Management Services
S.A.C.A.P.S.A Reg. no ST 1414

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Date: 03/07/2023

Signature: *HBezuidenhout*

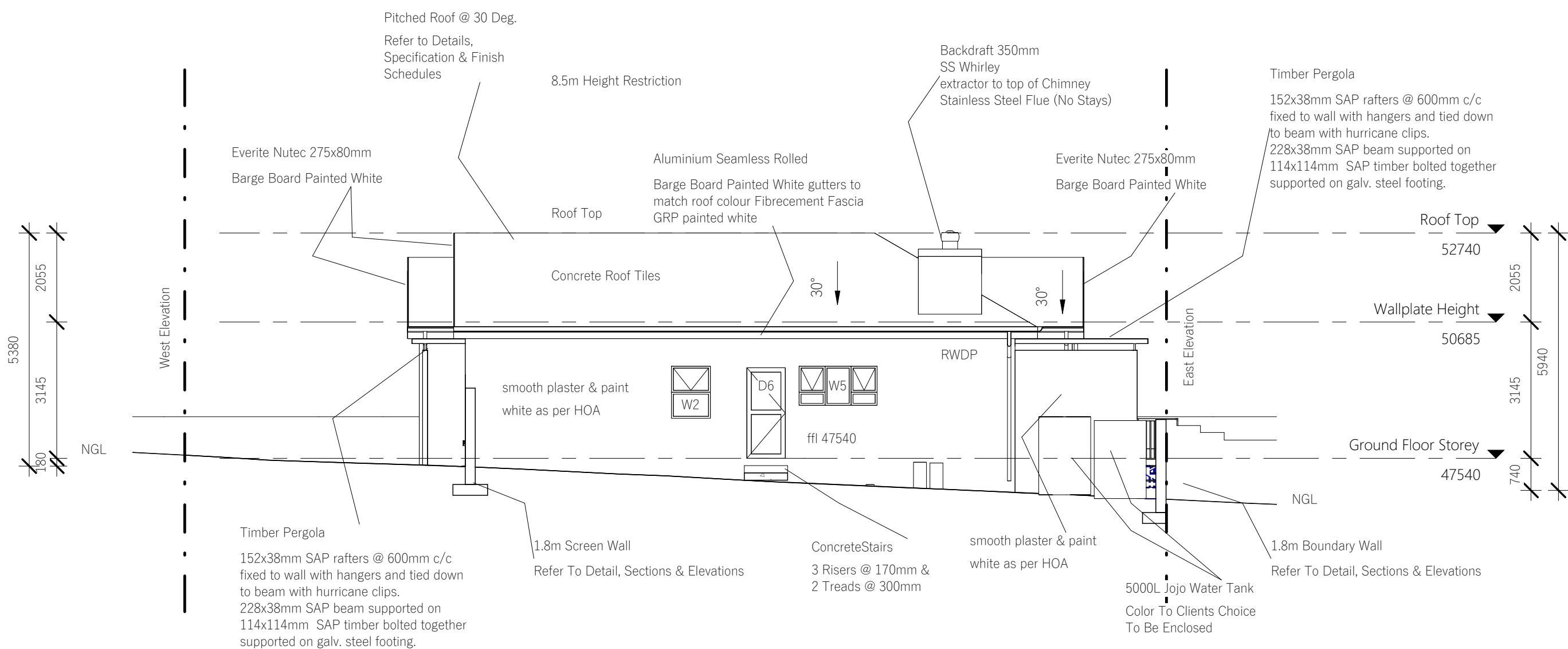
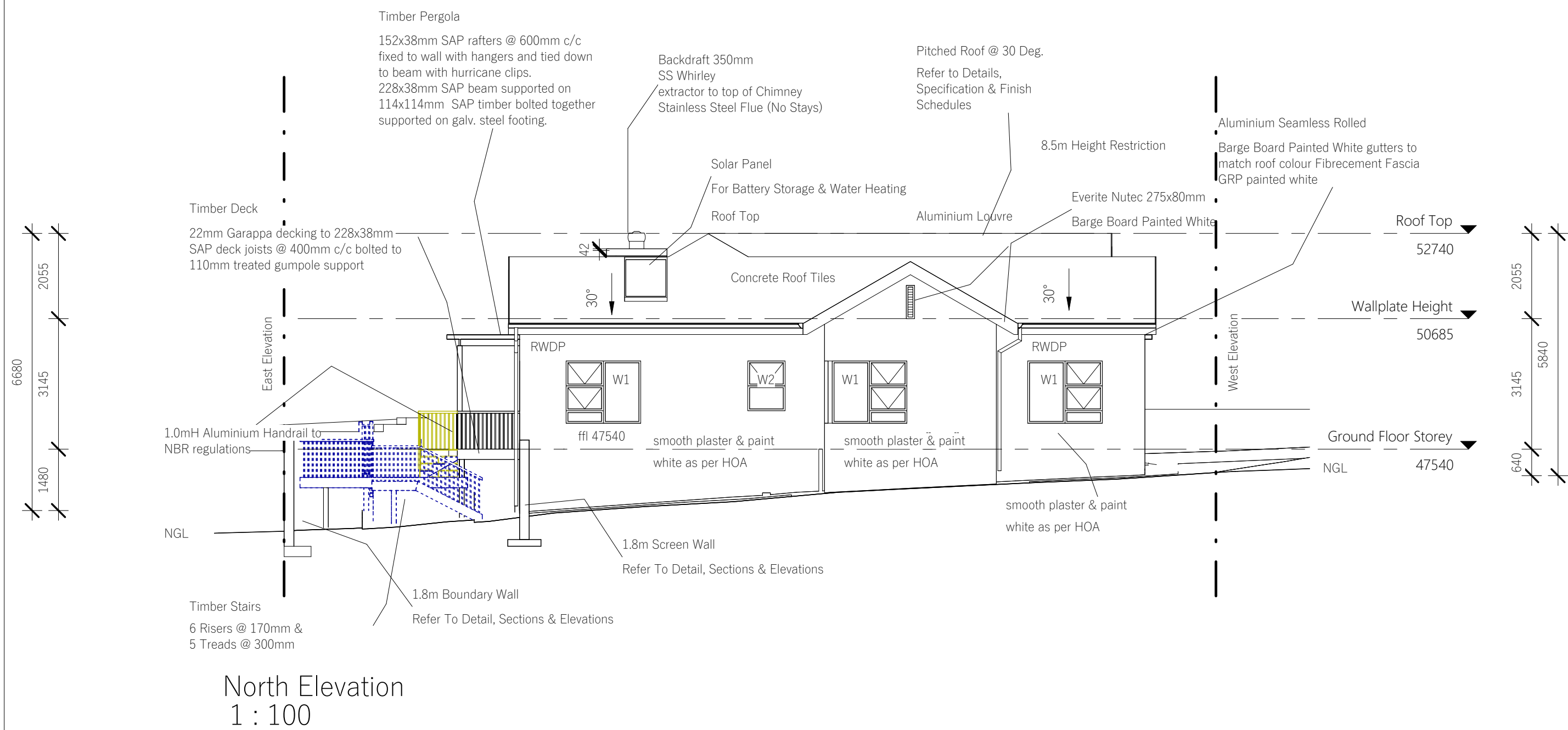
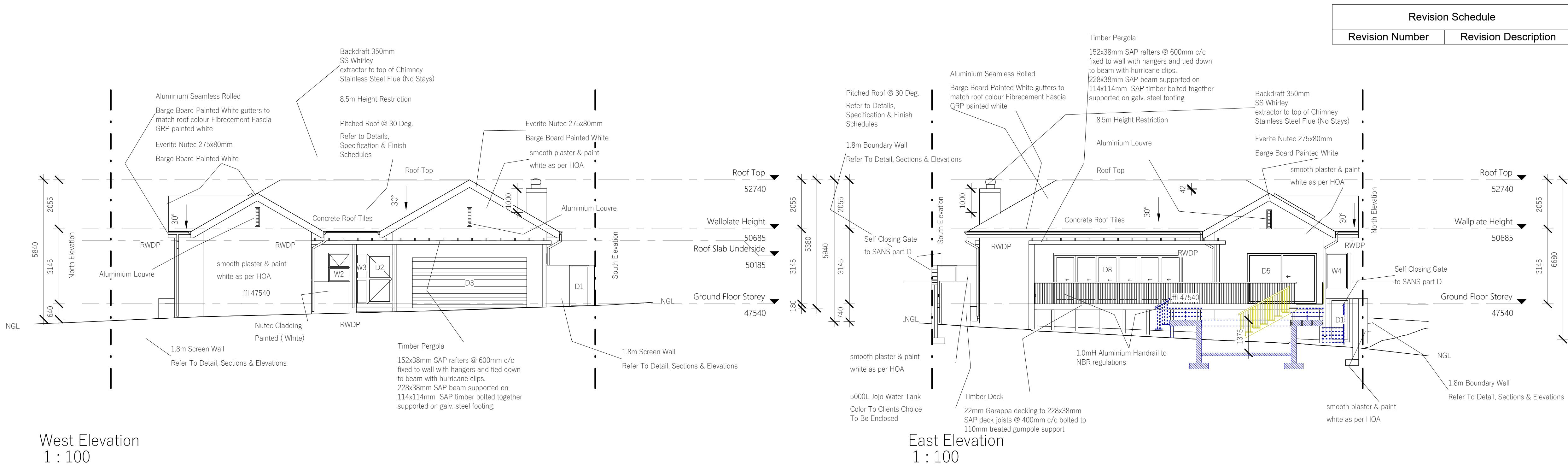


**PROFESSIONAL SENIOR ARCHITECTURAL
TECHNOLOGIST**

HENNIE BEZUIDENHOUT

07 58 44 00 00 (Africa30hours) on 03 May 2024

Professional Indemnity Insurance:
Stalker Hutchison Adair (Pty) Ltd
Policy No. 7000/146176 SHA



Door Schedule	
Door Type	Door Number

D1	1
D2	1
D3	1
D4	1
D5	1
D6	1
D7	1
D8	1

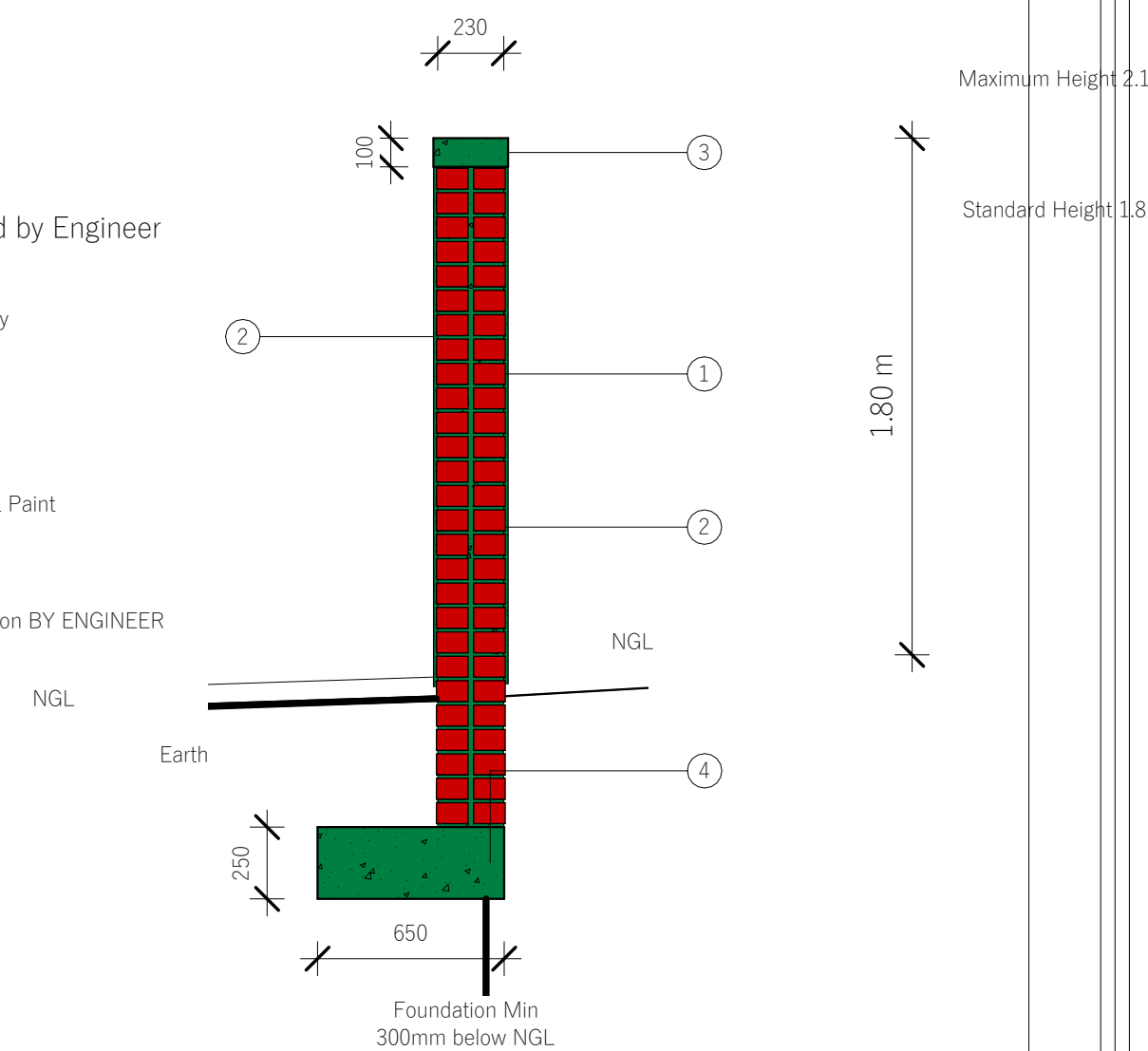
Window Schedule		
Window Type	Width	Height

W1	1800	1500
W2	900	1200
W2	900	1200
W3	448	2090
W4	900	1500
W5	1800	900

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- Bricks filled with Concrete horizontal & vertical
- External bricks usually selected for face appearance

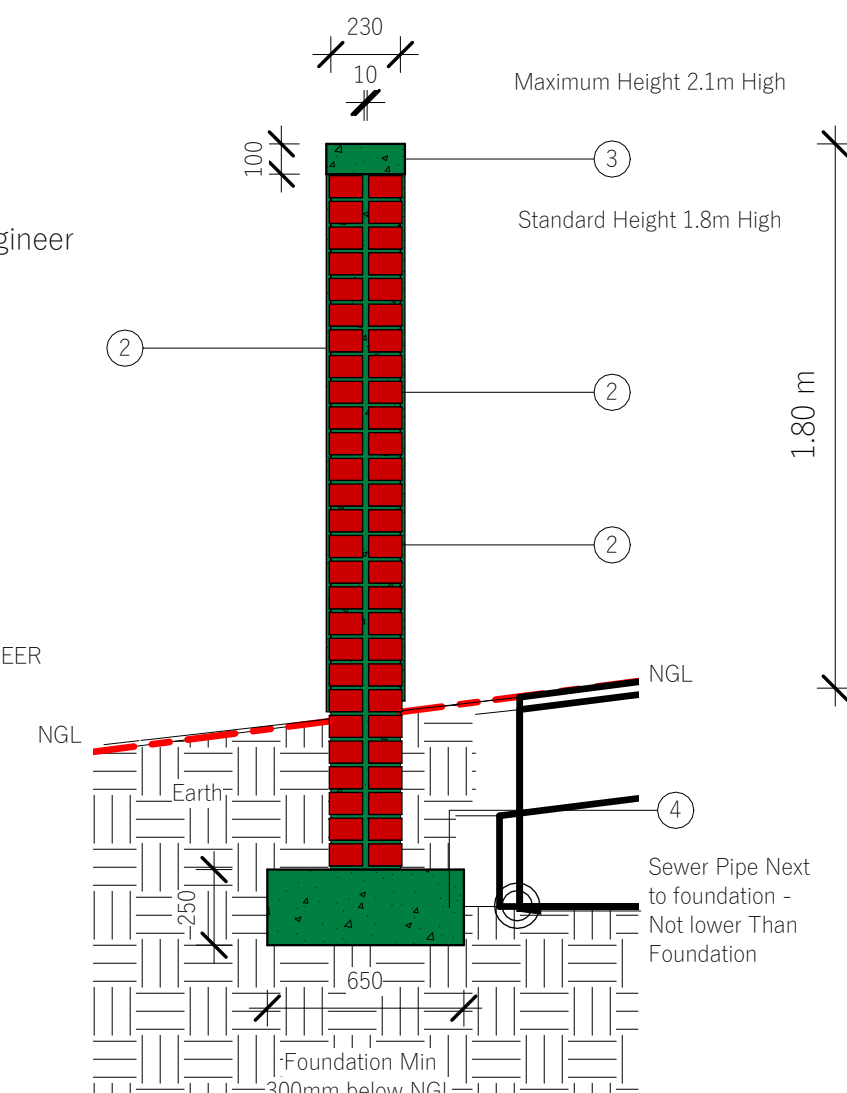
- 14mpa NFX Claybrick - External As Facebrick
- Plasterbrick with 15mm -20mm Cement Plaster & Paint
- 100mm copping
- 800mm x 250mm 20Mpa Concrete Strip Foundation BY ENGINEER



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KOUGA MUNICIPAL STAMP

Homestead Views
Home Owners Association & Aesthetics
Committee
CONDITIONALLY APPROVED
03/07/2023
HBezuidenhout
HSV HOA
Subject to Local Municipal Authority
Approval

All work to be done and all materials to be used have to comply with SANS10400 regulations

Part A - General Principles
Part B - Structural Design
Part C - Dimensions
Part D - Public Safety
Part E - Demolition work
Part F - Site Operations
Part G - Excavations
Part H - Foundations
Part J - Floors
Part K - Walls
Part L - Roofs
Part M - Stairs
Part N - Glazing
Part O - Lighting Ventilation
Part P - Drainage
Part Q - Non Water Borne Sanitation
Part R - Storm Water
Part S - Disabled
Part T - Fire Protection
Part U - Refuse Disposal
Part V - Space Heating
Part W - Fire Installations
Part X - Energy

Energy Efficiency Supplement Documents as per SANS10400 forms part of this set of drawings and specification should be read in conjunction with this documentation's.

All requirements of municipal and other authorities concerned have to be adhered to. Contractors and Sub-contractors are to check all dimensions and levels on building site before commencing with any work. Figured dimensions to be taken in preference to scaled measurements and large scale details supersedes small scale drawings. The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him.

Lighting & Energy Usage:
all fluorescent light fittings to be SABS approved 11W LED
all other light fittings to min. SABS approved 5W LED with 50W output.

Timber
all timber work to comply with SABS standards 082 : 0137 : 0400
all timber to be treated to SABS specs 1228 of 1994

Space Heating
provision of space heating to comply with SANS10400 part V - where applicable

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SHEET DESCRIPTION
Elevations, Boundary Wall Details

PROPERTY OWNER / AUTHORIZED AGENT
The Lifestyle Village (Pty) Ltd

CLIENTS APPROVAL SIGNATURE

PROJECT ADDRESS
Unit 26
Homestead Drive
Sea Vista
St Francis
Eastern Cape
South Africa

ERF/HOLDING/PORTION
ERF 3890
PREVIOUS PLAN NUMBER

NATURE OF PROJECT
DATE
03/07/2023

DRAWN J.H. DESIGNED H.B. CHECKED BY H.B. SCALE As indicated

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PROFESSIONAL SENIOR ARCHITECTURAL
TECHNOLOGIST
HENNIE BEZUIDENHOUT
07:58 AM (Africa/Johannesburg) on 03 May 2024

Professional Indemnity Insurance:
Stalker Hutchison Admiral (Pty) Ltd
Policy No. 7000/146176 SHA

General Notes

Building Works

All building work components and site operations to comply with the applicable national building regulations, SABS standards and SANS10400, SANS204, SANS10251, SANS10252 and any other manatory standards, regulations and code of conduct.

Structure

All applicable structural elements and components to be designed and certified by structural engineer, to comply with the requirements of the national building regulations SANS10400 parts H,J,K,L,M,N.

Dimensions

All humanly habitable rooms shall have a minimum floor area of 6m sqm with a min. horizontal dimension of 2.0m and height, floor to ceiling of 2.4m. All dimensions to comply with SANS10400 part C

Public Safety

Changes in level, design of ramps and driveways, access to swimming pools to comply with SANS10400 part D

Demolition Work

Demolition of existing structures to comply with SANS10400 part E

Site Operations

All site operations, including protection of public, shall be executed to comply with SANS10400 part F.
Approved sanitary facilities for all site personnel to be available prior to commencement of site work, and shall be available throughout the duration of the building operations.

Excavations

All excavations to comply with SANS10400 part G

Foundations

The minimum width to any continuous strip foundations shall be 600mm
330mm walls: 1250x450mm concrete strip foundation
270mm walls: 850x300mm concrete strip foundation
230mm walls: 750x300mm concrete strip foundation
110mm walls: 600x300mm concrete strip foundation
All foundations to be checked and approved by structural engineer.
All foundations to comply with SANS10400 parts B, H,

Floors

All floor to comply with SANS10400 part J
All waterproofing membrane to be turned up around the perimeter of the floor slab by at least the thickness of the floor, and to be provided with an minimum overlap of 200mm at joints.
Penetration of the waterproofing membran by water, sewer or services pipes to be taped with approved pressure sensitive tape to manufacturers specs.
All filling to be moistened prior to compaction but must not show signs of soaking. Sub soil compactions may not exceed 100mm thick with hand compactions and 150mm thick with mechanical compactions.
Appointed engineer to design and inspect filling deeper than 400mm.
Floors in laundries, kitchen, shower, bathrooms or rooms containing a WC, urinal to be water resistant.
Compacted filling more than 300mm thick to approved by Engineer

Lighting and Ventilation

Lighting and ventilation in all humanly habitable rooms, bathrooms, showers and rooms containing WC's to comply with SANS10400 parts O & T

Stormwater

Demolition of existing structures to comply with SANS10400 part E10400 part R

Electrical

All work to be executed by contractors registered with the ELECTRICAL CONTRACTING BOARD OF SA

Retaining Walls

All walls retaining greater than 1000mm to be designed by appointed structural engineer

Drainage & Plumbing

Only SABS approved sanitary fittings and materials to be used and must comply with SANS10400 part P
100mm%%c discharge stacks & vent pipes
160mm%%c discharge soil pipes
50mm%%c soil discharge pipes to showers and urinal
40mm%%c waste discharge pipes to hwb's baths & sinks
gullies to comply with P29
All waste fittings to have re-sealing traps and water seals not less than 65mm.
Access to drainage systems to be provided with adequately marked and protected and permanently accessible rodding eyes at all changes in directions, with 1500mm of the municipal drainage connection, at the highest point of the drainage system and at max. 25m intervals.
Inspection eyes at all bends and junctions.
No bends, junctions within or underneath walls, surface beds, concrete slabs. - all drainage underneath buildings to have concrete encasements as approved by engineer.
All water pipes to be class 2 copper
All exposed hot water supply pipes to be lagged in appropriate SABS approved thermal insulation with minimum R-value of 1.0

Windows & Doors

External:
All windows SABS approved powder coated Aluminium framed top-hung open out with clear single glazing. - see window schedule.
All Sliding doors SABS approved powder coated Aluminium framed with appropriate SABS approved laminated SOLARVEU single glazing, comparable with low "E" glazing.
All fenestration and glazing to comply with SANS10400 parts B; N; XA and SANS 204.
ALL OPENINGS LARGER THAN 3,0m TO BE TO ENGINEERS DESIGN

Roof & Ceilings

(min. R-value 3.72)(sqm.K/W)
Fair Black Concrete Shingle Rooftiles (R-value= 0,)
All roof timber to be GRADE 5 SA Pine.
Entire roof, incl roof covering & waterproofing to comply to SANS10400 part L the fire resistance and combustibility of the roof assembly or any ceiling assembly to comply to SANS10400 parts L & T

Aluminium gutters and pvc downpipes to SANS10400 part T.
Ceiling Thermal Insulation properties (3.72req)-total R-value=3.76-comply Gypsum ceilingboards - (R-value = 0.06)
Outdoor Air Film ; (R-value = 0.03)
50mm Iso-therm blanket between battens on top of ceiling (R-value = 1.25)
SABS approved Envirotuff 203 dubble sided Radiant barrier thermal insulation

Roof & Ceilings

(min. R-value 3.72)(sqm.K/W)
Fair Black Concrete Shingle Rooftiles (R-value= 0,)
All roof timber to be GRADE 5 SA Pine.
Entire roof, incl roof covering & waterproofing to comply to SANS10400 part L the fire resistance and combustibility of the roof assembly or any ceiling assembly to comply to SANS10400 parts L & T

Aluminium gutters and pvc downpipes to SANS10400 part T.
Ceiling Thermal Insulation properties (3.72req)-total R-value=3.76-comply Gypsum ceilingboards - (R-value = 0.06)
Outdoor Air Film ; (R-value = 0.03)
50mm Isotherm blanket between battens on top of ceiling (R-value = 1.25)
SABS approved Envirotuff 203 dubble sided Radiant barrier thermal insulation with 0.2 outer emissivity and 0.05 inner emissivity (r-value = 2.42) strictly to manufacturers specs on top of ceiling boards between purlins.
All to comply with SANS10400 part XA and SANS 204

Concrete Roof Slab Insulation:(R-value 3.72 req) - R-value 3.83 - comply 5mm torch-on Bitumen layer - R-value 0.01
Concrete Screen - R-value 0.09
Concrete slab - R-value 0.12
Radiant Barrier thermal barrier - R-value 1.89
40mm Isoboard ceiling insulation fixed to slab - R-value 1.66
Rhinoboard ceilingboard - R-value 0.06

Pitched Roof

BLACK Shingle Concrete Rooftiles fixed 38x38mm SAP battens @ 345mm max. centres fixed to 38 x50mm SAP battens fixed in line on top of engineers design roof trusses @ 700mm centres tied down to brickwork with 8 gauge double twisted gaw roof wires, min of 5 courses down
Trusses supported on 114 x 38mm SAP wallplates.
Install 50mm Isotherm (R-value = 1.25) on top of ceiling boards between 38x50battens, then install 1 layer of Envirotuff 203 Double Sides Radientshield (R-value=2.42) between battens
ALL TIMBER TO BE min. GRADE 5
Aluminium Flashing & counterflashing to roof & Seal-o-flex flashing to parapet walls.
"Everite" Nutec-cement fascia fixed to truss sprockets.
100 x 75mm square type Seamless Aluminium gutters and matching accessories.
All exposed roof timber to be painted - white.

Ceiling

6.4mm T&G Fibrecement ceilingboards directly on top of rafters.
16mm Fire-stop ceilings screw fixed to u/s of floor joist with 38x38mm SAP battens @ 300mm centres
Coved Rhino cornices.

Walls

Clay brick construction, smooth plastered and painted, supported by reinforced All staircases to be in accordance with the design and details to comply with SANS10400.
All cavity walls to be fitted with 350micron stepped pvc, dpc's in cavities above floor, beams and windows.
All jointing to be sealed watertight by means of approved and accepted methods and principals for jointing.
Concrete lintels above all openings.
External walls to have 6/sqm butterfly ties to door height and brickforce every course to wallplate height all round.
Plaster Bands around windows & doors = 125mm wide

Sills

Interior and Exterior sills to receive plaster & paint.

Floors

Screed and finish to owners choice on reinforced concrete structure -by Engineer.
150mm Hardwood skirtings allround -Painted
100mm 20MPa concrete floor slab on 250u Gunplas USB, on 25mm sand bed on 150mm max. ground fill layers, compacted to 90% A.A.S.H.T.O. Soil to free from organic materials.

Floors

Concrete Foundations are to be stictly in accordance with Engineers design and details.
Plinth walls to receive brickforce wire reinforment every course, with concrete beam filling to floor level.

Door & Windows

Black Aluminium windows & External doors,
Sliding , Sliding Stacking doors & Internal doors and frames to be "Swartland"
Hardwood to receive paint finish.
Windows and External Door to receive DPC all round, and secureley built into brickwork.
All openings larger than 3,0m to be to engineers design

Drainage

All stacks to be ventilated. All drainage pipes to be laid to a min. 1:60 fall where applicable. All drainage work to be done in accordance with SABS 0400, and the requirements and specifications of the local authority.
All plumbing work to be carried out by a licensed and council registered plumber. All duct access panels to be fitted airtight.
All stacks & vents to be open to external natural air.

Finishes Note

Roof

BLACK SHINGLE Concrete Rooftiles on 38x50mm SAP battens fixed to rafter in line and 38x38mm battens @ 325mm centres on engineers designed Gangnail trusses and /or Rafters @ 45 degrees, with appropriate insulation
Concrete Slab Roofs - by Engineers design - waterproofing by specialist with SABS approved materials.

Ceiling

Outside - Cladit on top of sprockets - painted White as per HOA
Inside - 6.4mm T&G FC boards fixed to top of truss rafters - painted - white

Cornice

Polystyrene - profile by client - painted white (where applicable)

Gutter

Aluminium Seamless rolled - 100x125mm gutter to match roof colour & 75mm dia PVC downpipes and outlets.

Fascia

Fibre Cement Fascia - Painted White

Bricks

Clay Plaster Bricks - min 14Mpa with R-value < 0.35

Paint

SABS approved paint - colour White as per HOA approval.

Walls

External - Smooth plaster & paint - WHITE as per HOA
Internal - Smoth plaster & paint - Colour as per client
All Retaining Wall - by Engineers design

Windows

Aluminium - BLACK Top hung - 30.5mm profile frame
Cills External - Brick on Edge , Plastered and Painted - Colour White as per HOA
Cills Internal - Plastered and Painted - Colour as per client.

Lintels

Prefabricated Pre-stressed concrete lintels with max. overlay.
All openings greater than 3,0m to Engineers design.

Doors

External - Aluminium Framed & Safety glass - Black & Sandblasted glass.
Internal - Semi solid Deep Mould - profile by client - Paint colour - by client
Internal - Solid Class B Fire Door from Garage - Paint colour by client

Door Frames

External - Aluminium - Black to match doors
Internal - 60mm Heavy Duty Hardwood Frame " Swartland" or similar - paint by client

Door Garage

Aluminium Sectional Overhead with remote control - Colour Black

Floors

100mm thick Pre-mix Concrete on min. 250u plastic Underlay - finish as indicated
Filling max 150mm thick layers , compaction more than 300mm to engineers approval

Foundations

Concrete Strip footings as per Engineers design.

Paving

Links Palazzo Cobbles - colour as per HOA.

Stormwater

As shown on Contour Plan & Setting Out Dimensioms - to discharge to the satisfaction of the HOA

Cupboards

As per Developer/Client agreement - PC amount allowance

Burglar Alarms

As per recommendation of HOA

Sanitary Ware

AS per Developer/Client agreement - PC amount allowance

Drainage

As per Layout - White PVC all exposed - hidden where possible

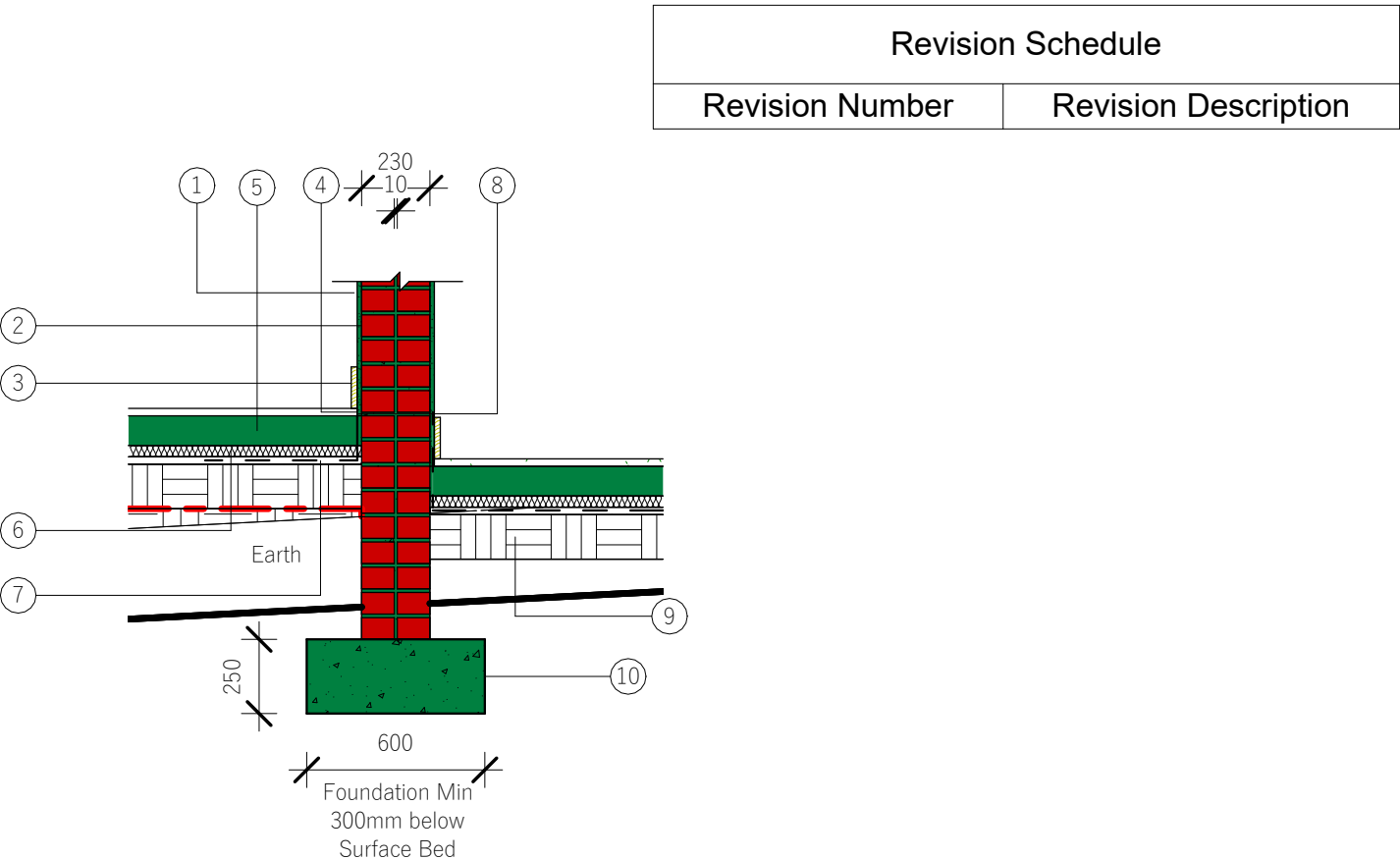
Fire Protection

1x30m Fire Hose Reel installed by qualified approved contractor
1x4,5kg DCP Fire Hydrant

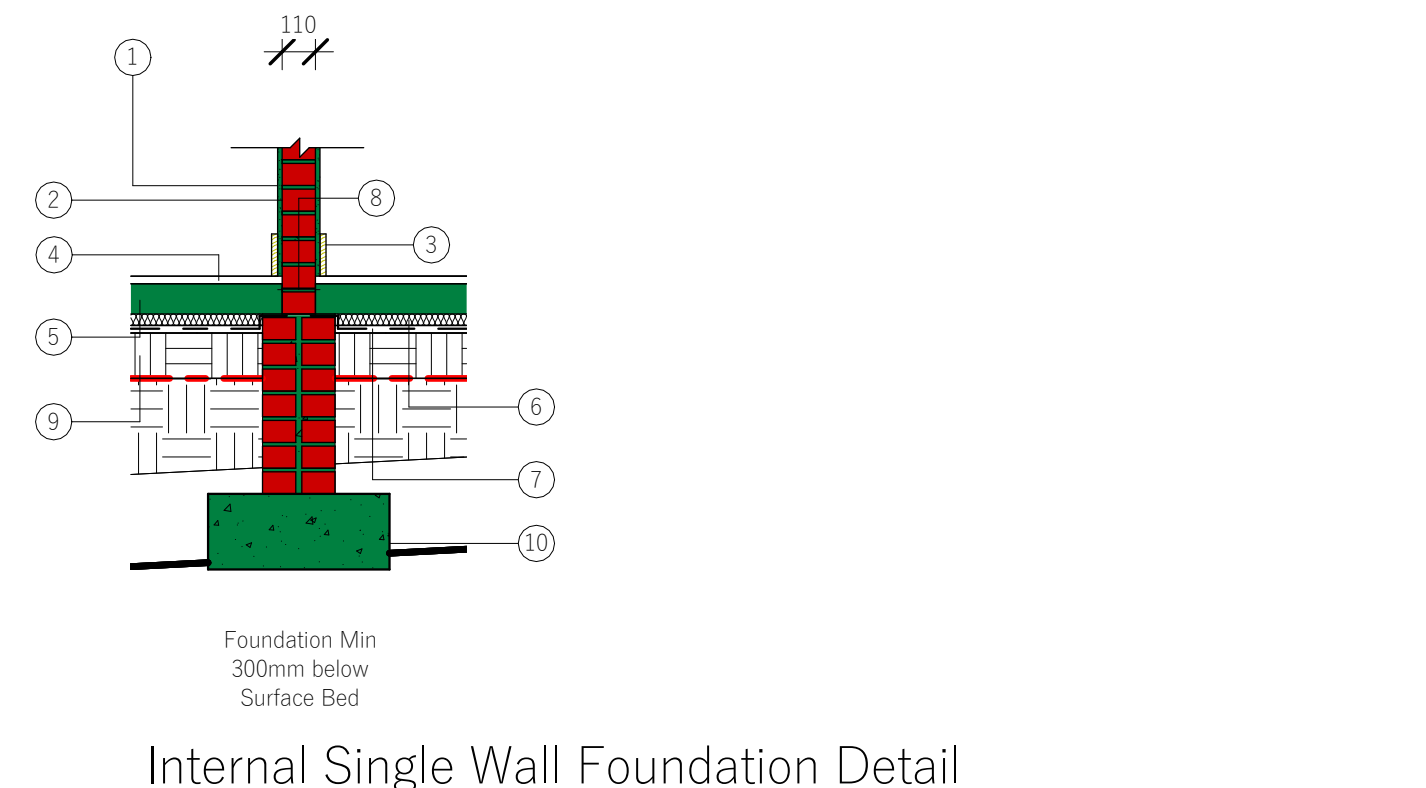
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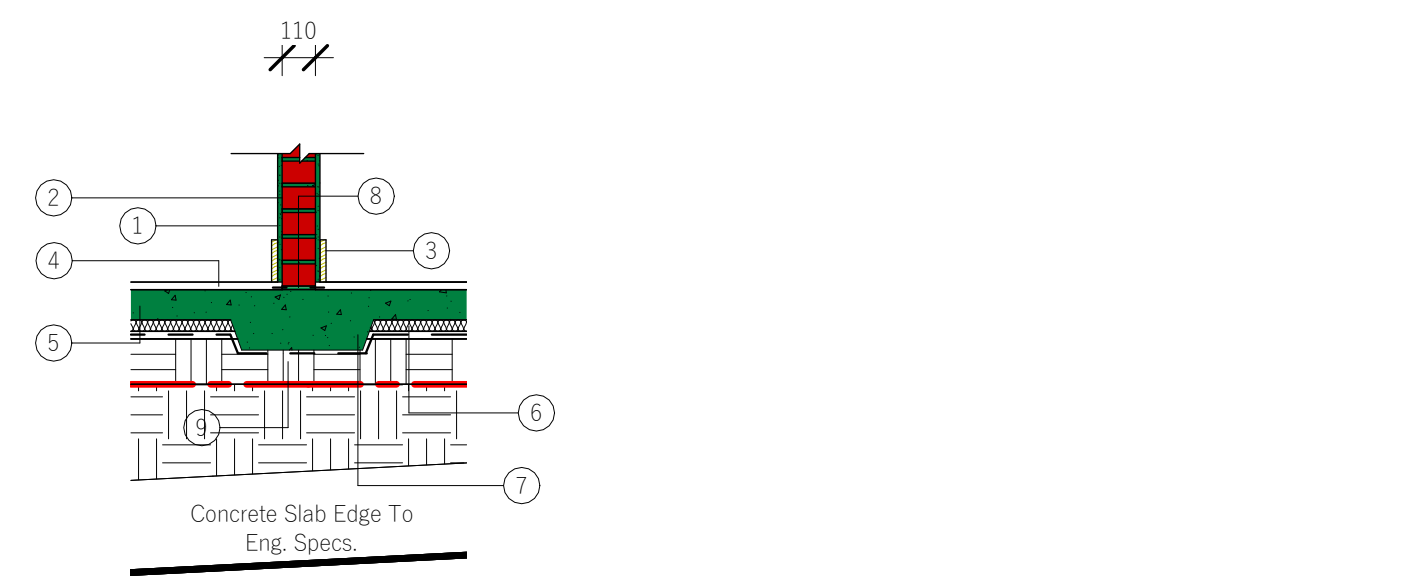
- 1 Plasterbrick with 15mm Internal Cement Plaster & Paint By Client
- 2 14mpa NFX Claybrick
- 3 Hardwood Skirting Board
- 4 25mm Concrete Screed
- 5 In -Situ concrete Surface Bed 85mm 20Mpa Concrete Floor Slab
- 6 30mm Polystyrene Insulation - Under Surface Bed R=/>1
- 7 DPM
- 8 DPC
- 9 150mm Max. Layer Ground Filling Well Compacted to 90% a.a.s.h.t.o Filling Thicker Than 300mm To Eng. Specs.
- 10 650mm x 250mm 20Mpa Concret Strip Foundation BY ENGINEER



Internal Double Wall Foundation Detail
1 : 25



Internal Single Wall Foundation Detail
1 : 25



Non -Load Bearing Single Wall Foundation Detail
1 : 25

Revision Schedule

Revision Number Revision Description

KOUGA MUNICIPAL STAMP

Homestead Views
Home Owners Association & Aesthetics
Committee
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all timber to be treated to SABS specs 1228 of 1994

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provision of space heating to comply with SANS10400 part V - where applicable

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SHEET DESCRIPTION
Specifications , Finishes & Details

PROPERTY OWNER / AUTHORIZED AGENT The Lifestyle Village (Pty) Ltd	CLIENTS APPROVAL SIGNATURE
PROJECT ADDRESS Unit 26 Homestead Drive Sea Vista St Francis Eastern Cape South Africa	ERF/HOLDING/PORTION ERF 3890 PREVIOUS PLAN NUMBER
NATURE OF PROJECT	DATE 03/07/2023
DRAWN J.H	DESIGNED H.B
CHECKED BY H.B	SCALE As indicated

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