

SCHEDULE OF FINISHES		
COMPONENT TYPE		COLOUR
EXTERNAL WALLS	PAINTED WOOD FLOAT	PEBBLE BEACH(S2000-N)
ACCENT WALLS	PAINTED WOOD FLOAT	MOUNTAIN MEADOWS(S5000-N)
WINDOWS	POWDER COATED ALUMINIUM	CHARCOAL
DOORS	POWDER COATED ALUMINIUM	CHARCOAL
ROOF	CHROMADEK KLIPLOCK	DARK GREY
PAVING BRICK	SMOOTH ETHNIC PAVER (CONCRETE)	LIGHT GREY
GUTTER & DOWN PIPE	OGEE ALUM SEAMLESS	DARK GREY
TIMBER SLATS	COMPOSITE	CHARCOAL
PERGOLA	NATURAL TIMBER	GREY

GENERAL

- THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL THE RELEVANT DRAWINGS, SCHEDULES AND SPECIFICATIONS FROM FC ARCHITECTURE AND ALL OTHER CONSULTANTS RELATED TO THE PROJECT.
- ALL PORTIONS OF THE WORKS RELATED TO ANY SERVICE OR CONSULTANT'S INFORMATION IS TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.
- THIS DRAWING IS NOT TO BE SCALED. FIGURED DIMENSIONS TO BE USED. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
- ALL DIMENSIONS AND LEVELS MUST BE CHECKED ON SITE BY THE CONTRACTOR BEFORE PUTTING WORK IN HAND.
- ALL WORK TO BE EXECUTED BY COMPETENT PERSONS QUALIFIED FOR THE SPECIFIC TRADE.
- ALL DISCREPANCIES TO BE REPORTED TO FC ARCHITECTURE.

DRAINAGE MATERIALS

- SOIL AND VENT PIPES AND FITTINGS TO BE MARLEY UPVC (SABS 967) 110MM DIAMETER AS INDICATED ON THE DRAWINGS.
- WASTE PIPES AND FITTINGS TO BE MARLEY UPVC (SABS 967) OF 50MM DIAMETER AS INDICATED ON THE DRAWINGS.
- ALL EXPOSED FITTINGS TO BE ACCESS FITTINGS.
- GULLEYS TO BE MARLEY UPVC (SABS 791) 110MM P-TRAP GULLEY CODE UGB40 INCLUDING 150MM HEAD CODE UG40 AND GRATE CODE UG40 AS INDICATED ON THE DRAWINGS.
- SOIL DRAINAGE PIPES TO BE MARLEY TWIN WALL UPVC (SABS 1601) OF 110MM OR 160MM DIAMETER AS INDICATED ON THE DRAWINGS. PIPE FITTINGS TO BE MARLEY TWIN WALL FITTINGS (SABS 1601) OR MARLEY SOLID WALL FITTINGS (SABS 791) WHERE APPLICABLE.

DRAINAGE NOTES

- ALL DRAINAGE TO COMPLY WITH NATIONAL BUILDING REGULATIONS AND LOCAL AUTHORITIES REQUIREMENTS
- ALL INTERNAL DRAINAGE SHOWN DIAGRAMMATICALLY
- 1 GULLEY PER EXTERNAL SEWER LINE RUN TO BE PROVIDED
- ALL DRAINAGE RUNS TO BE ACCESSIBLE ALONG THEIR ENTIRE LENGTH
- DRAINAGE RUNS LONGER THAN 5 METERS TO BE VENTED
- DRAINAGE RUNS UNDER FLOORS TO BE PROTECTED FROM LOADS OVERHEAD
- NO CHANGES IN DIRECTION TO DRAINAGE LINES ALLOWED UNDERNEATH FLOOR STRUCTURE
- INSPECTION EYES (IE) TO BE PROVIDED AT ALL BENDS AND JUNCTIONS OF SOIL AND WASTE PIPES
- CAST IRON CLEANING EYES TO BE PROVIDED AT HEADS OF DRAINS WITH MANHOLES AT A MAXIMUM OF 25m SPACINGS ALONG RUNS OF DRAINS
- MARKED COVERS TO BE PROVIDED AT GROUND LEVEL FOR IE'S BELOW PAVING
- ALL WASTE PIPES TO BE CUT INTO BRICKWORK
- PROVIDE PVC GRATING TO TOP OF ALL VENT PIPES
- DRAINAGE PIPES
- UNDERGROUND DRAINAGE 110mm Ø UPVC PIPE
- SOIL AND VENT PIPES - 110mm Ø UPVC PIPE
- WASTE PIPES - 50mm Ø UPVC PIPE

WATER NOTES

- PIPE LAYOUTS AT MANHOLES MUST BE INSPECTED BY THE WATER SECTION BEFORE FINAL CONNECTIONS ARE INSTALLED.

MECHANICAL VENTILATION AND LIGHTING

- LIGHT AND VENTILATION TO COMPLY WITH PART "O" OF THE NATIONAL BUILDING REGULATIONS

GLAZING NOTES

- GLAZING IN STRICT ACCORDANCE WITH THE NBR PART N, SABS 0137/2000
- CODE OF PRACTICE: "THE INSTALLATION OF GLAZING IN BUILDINGS" SABS 0400, SABS 1263 AND AAMASA SELECTION GUIDE FOR SAFETY GLAZING MATERIALS

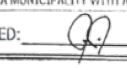
GAS INSTALLATION NOTES

- 1m AWAY FROM ANY OPENING (INTO A BUILDING) THAT IS BELOW THE LEVEL OF THE CONTAINER VALVE, I.E. DOORS, WINDOWS AND AIRBRICKS,
- 2m AWAY FROM ANY DRAIN, PIT OR MANHOLE
- 3m AWAY FROM THE PROPERTY BOUNDARY, UNLESS THE BOUNDARY HAS A FIREWALL, IN WHICH CASE THE CONTAINERS COULD BE NEXT TO THE FIREWALL AND WHERE THERE ARE ONLY TWO CONTAINERS, THE BOUNDARY DISTANCE CAN BE REDUCED TO 1m
- 3m AWAY FROM ANY OPENING (OR WINDOW) DIRECTLY ABOVE THE CONTAINERS, UNLESS A NON-COMBUSTIBLE ROOF (SEE SANS 10400) IS INSTALLED BETWEEN THE CONTAINERS AND THE OPENING (OR WINDOW), HOWEVER, CONTAINERS MAY BE PLACED WITHIN THE 3m SAFETY DISTANCE PROVIDED THAT GLAZING MAY BE ALLOWED WHERE THE WINDOW FRAMES ARE CONSTRUCTED FROM METAL AND THE TOTAL SIZE OF THE GLAZING DOES NOT EXCEED 1m². GLAZING SHALL BE OF WIRE WOVEN GLASS NOT LARGER THAN 450 MM x 450 mm PANE. SUCH WINDOWS SHALL NOT BE OPENABLE.
- NO UNAUTHORISED PERSONS ALLOWED IN CAGE UNDER ANY CIRCUMSTANCES
- AREA AROUND LPG BOTTLE STORAGE AREA TO BE KEPT CLEAR OF ALL COMBUSTIBLE MATERIALS AND POSSIBLE OBSTACLES WHICH MAY HINDER ACCESS TO STORAGE AREA
- REFER TO SANS 10087 FOR SAFETY DISTANCES TO ELECTRICAL SWITCH GEAR
- ALL MATERIALS AND FITTINGS USED TO COMPLY WITH SANS 10087

Rev	Date	Description
1		

PEZULA GOLF ESTATE HOMEOWNERS' ASSOCIATION

THIS DOCUMENT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE ARCHITECTURAL ACT AND REGULATIONS AND IS FORWARDED TO THE KNYSNA MUNICIPALITY FOR APPROVAL.

SIGNED:  DATE: 21/06/2022

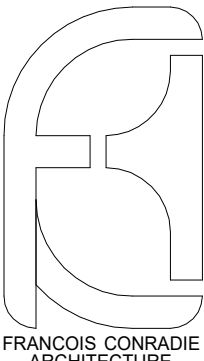
PEZULA GOLF ESTATE HOA

- All seal and owner signs to be concealed
- Sealing and approval subject to compliance with NBR and Local Authority requirements.

ENGINEER:

OWNER'S SIGNATURE:

ARCHITECT'S SIGNATURE:



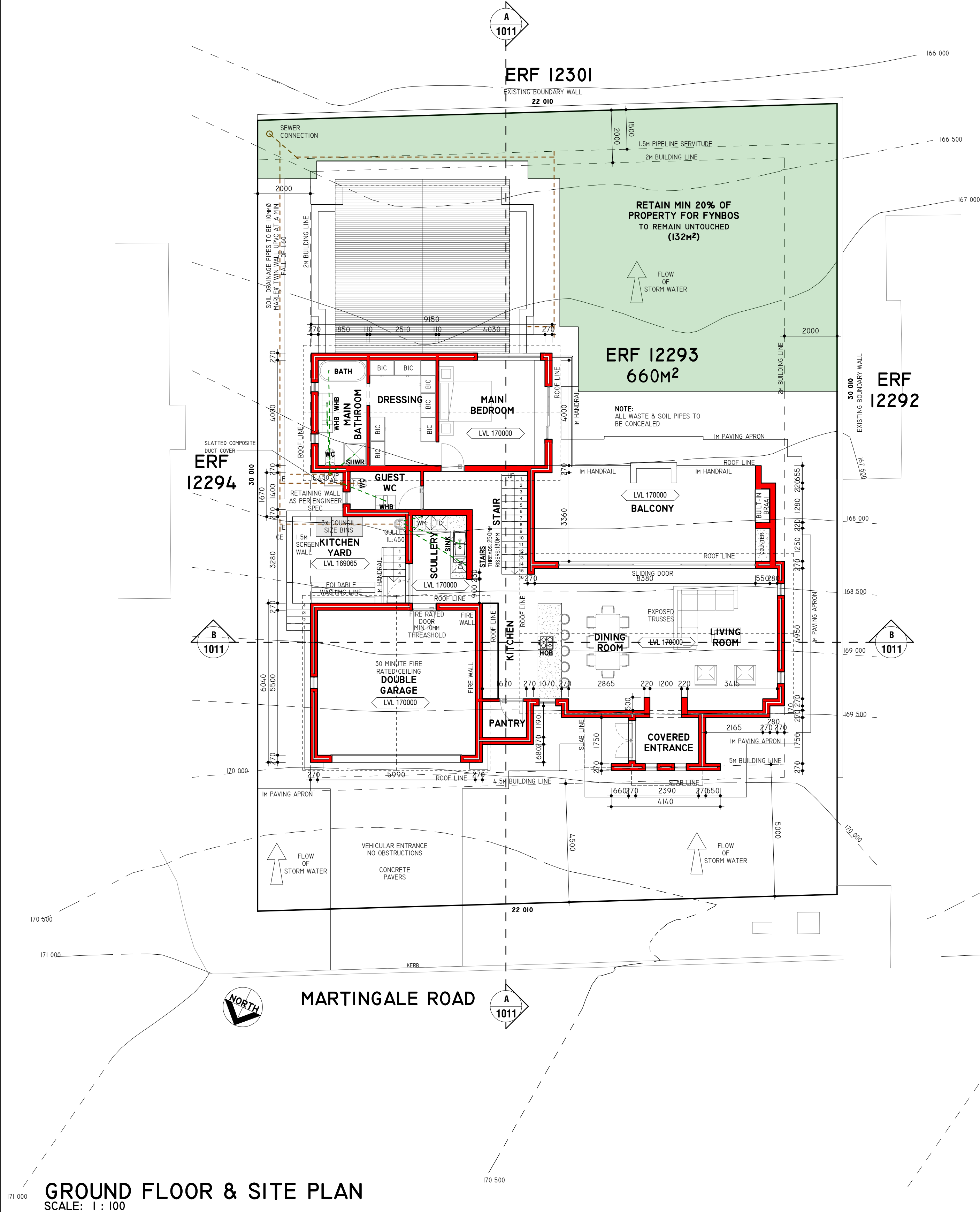
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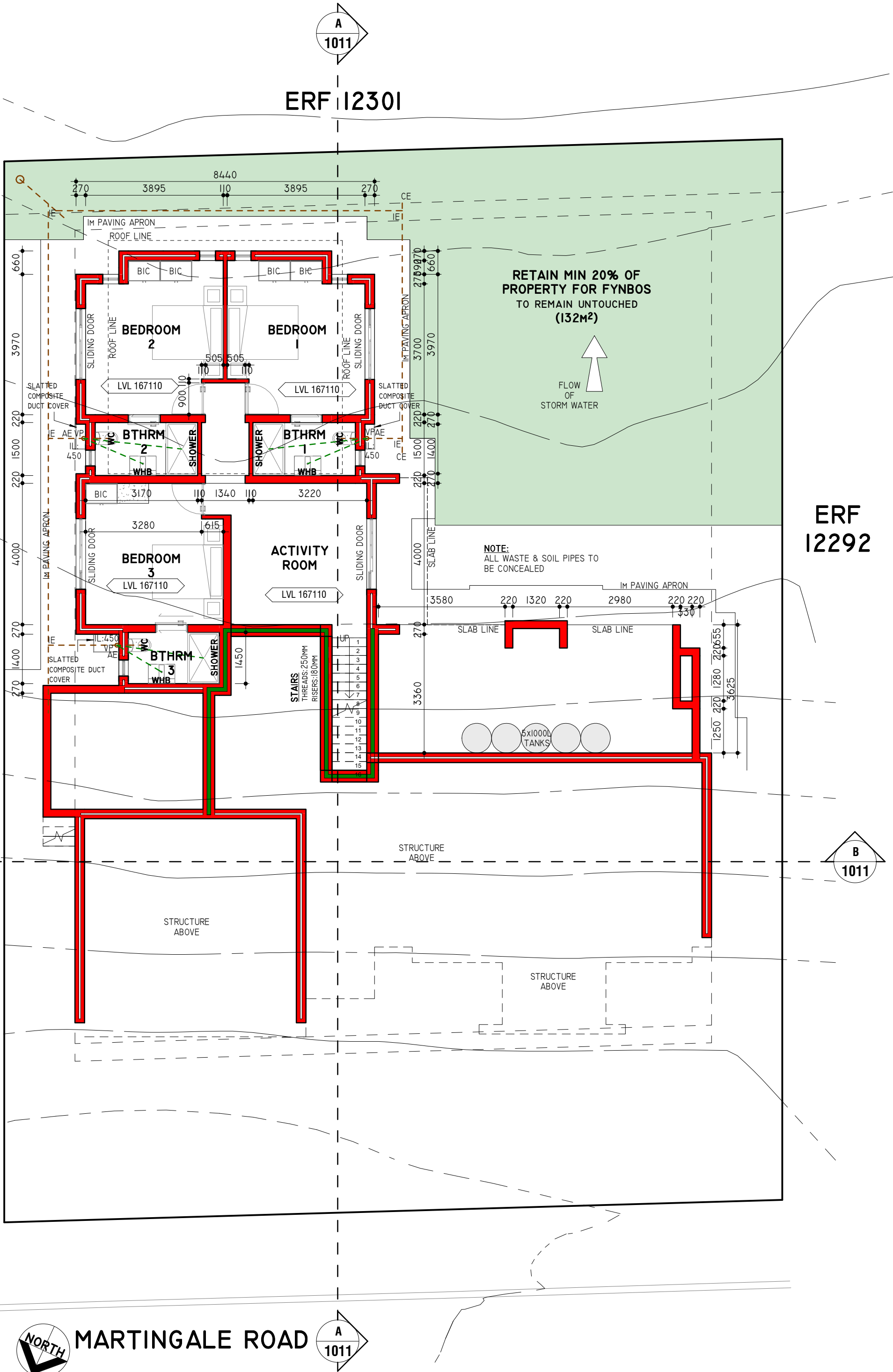
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PROJECT INFORMATION	
PROPOSED NEW RESIDENCE FOR MR LIGHTENING ON ERF 12293, KNYSNA, PEZULA GOLF ESTATE	
HOUSE LIGHTENING	
DRAWING INFORMATION	
SITE PLAN, FLOOR PLANS & SCHEDULES	
DRAWING NUMBER	REVISION
1010	1
DATE CREATED	DRAWN BY
FEBRUARY 2018	FRANCOIS CONRADIE
DRAWING ISSUED FOR	
CONSTRUCTION	INFORMATION
TENDER	

AREA SCHEDULE	
SITE AREA	660M ²
BUILDINGS	
GROUND FLOOR	18M ²
LOWER GROUND FLOOR	95M ²
SUB TOTAL FOR BUILDINGS	
276M ²	
COVERED AREAS	
GROUND FLOOR	0M ²
LOWER GROUND FLOOR	32M ²
SUB TOTAL FOR COVERED AREAS	
32M ²	
TOTAL BUILDING AREA	308M ²
FAR	308M ² / 660M ²
COVERAGE	23M ² / 660M ² X 100
	35%



LOWER GROUND
SCALE: 1 : 100



MARTINGALE ROAD
A 1011

GROUND FLOOR & SITE PLAN
SCALE: 1 : 100