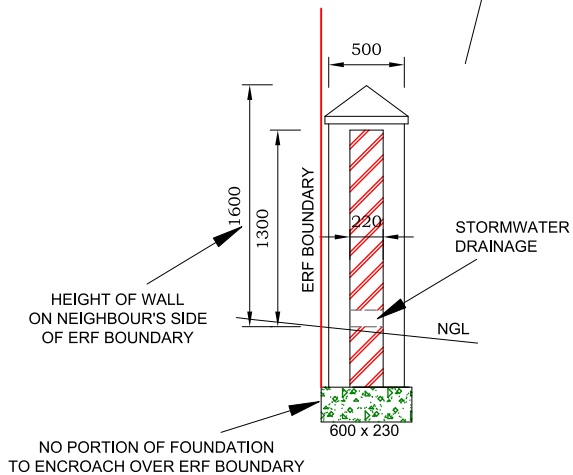
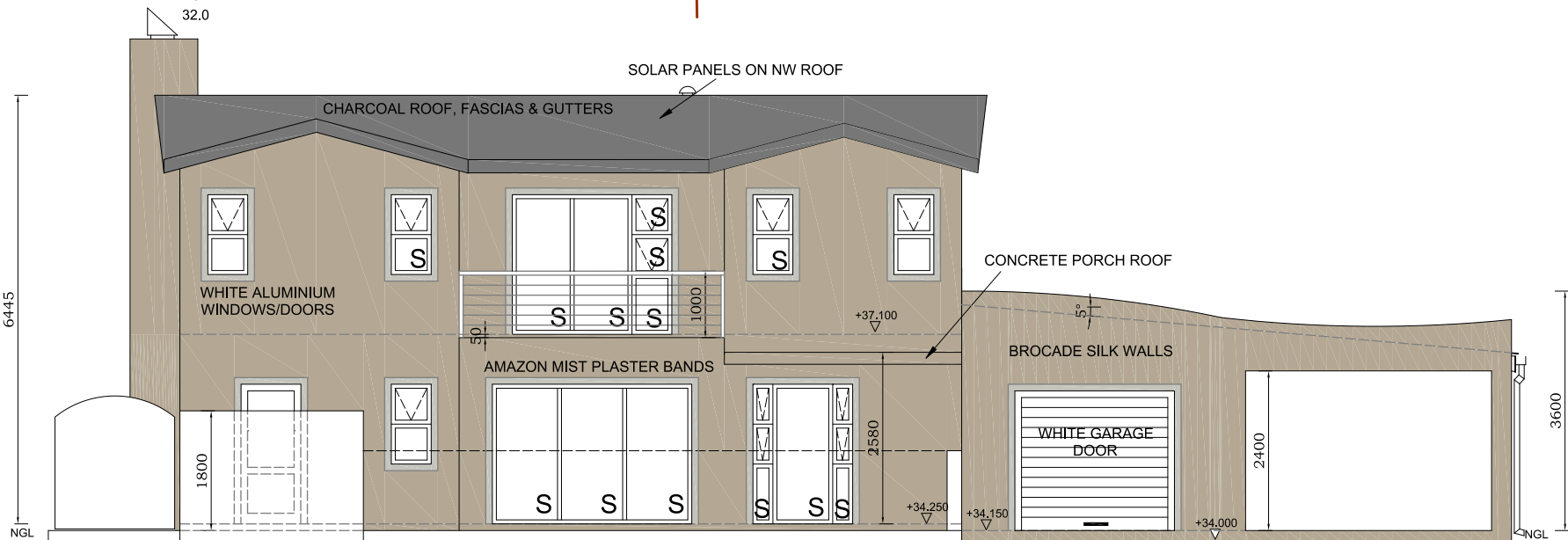


SITE PLAN (1:200)

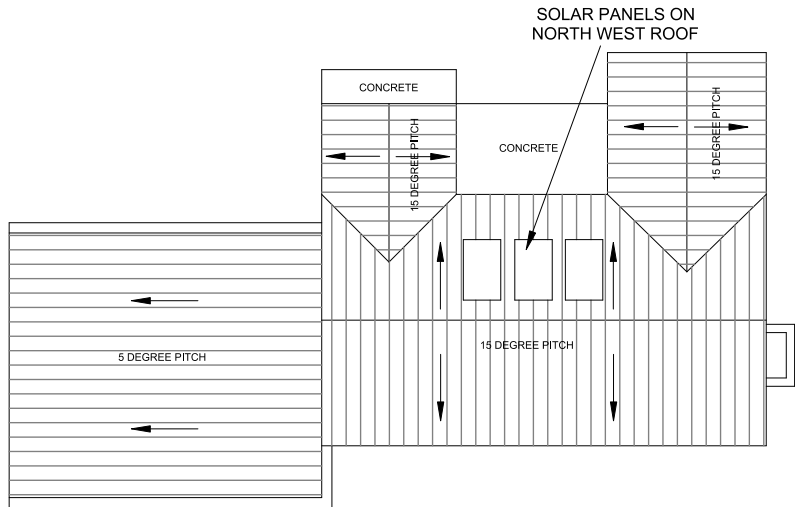


SECTION OF BOUNDARY WALLS (1:50)



NORTH WEST ELEVATION

AREAS:-
GROUND FLOOR (INCL GARAGE/CAR PORT) = 176.1sqm
COVERED PORCH = 3.2sqm
OPEN DECK = 25sqm
FIRST FLOOR = 102.5sqm
OPEN BALCONIES = 12.3sqm
SERVICE YARD = 15.5sqm
TOTAL COVERED AREAS = 281.8sqm
FOOTPRINT = 179.3sqm
SIZE OF ERF = 1,007sqm
COVERAGE = 17.8%



ROOF LAYOUT (1:200)

ROOF AREAS:-
TOTAL ROOF AREA = 173sqm
PITCH ROOF = 104sqm (60%)
LEAN TO/CONCRETE ROOF'S = 69sqm (40%)

NOTES:

SCALE 1:200



PROJECT:

PROPOSED MODERN BEACH STYLE HOUSE ON ERF 1031, BREEDEZICHT ESTATE, WITSANDS

DESCRIPTION:

SITE PLAN, ROOF LAYOUT & ELEVATION

CLIENT: MR & MRS HULME

DESIGN & DRAFTING:

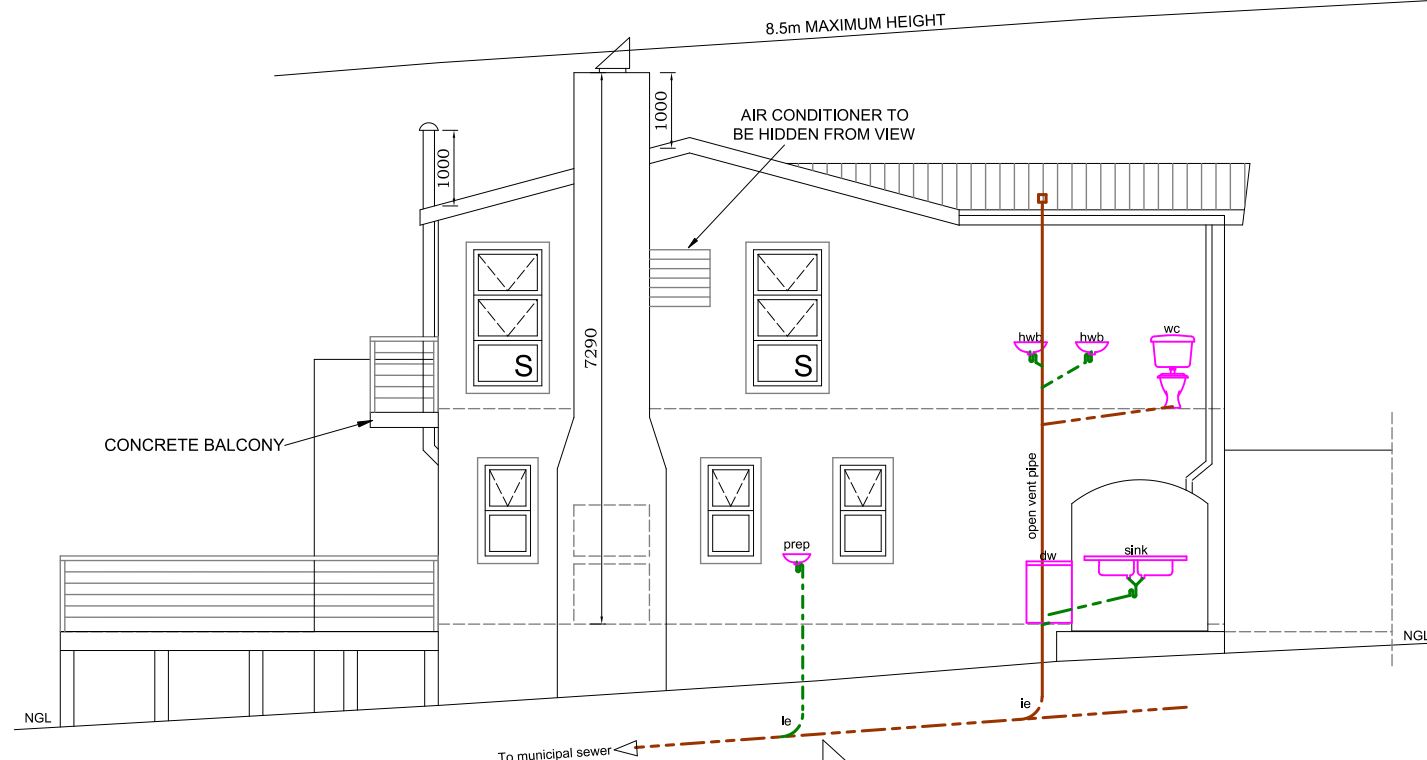
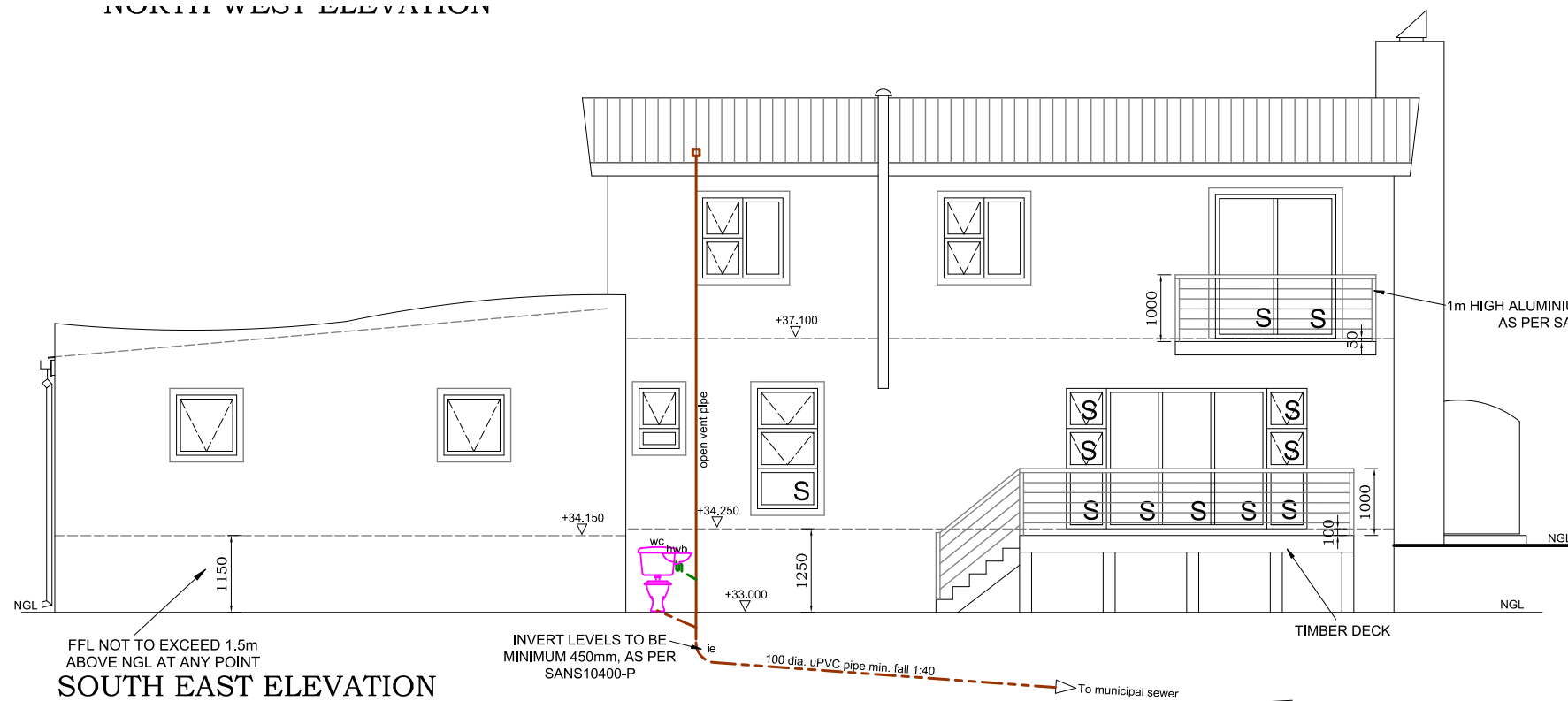
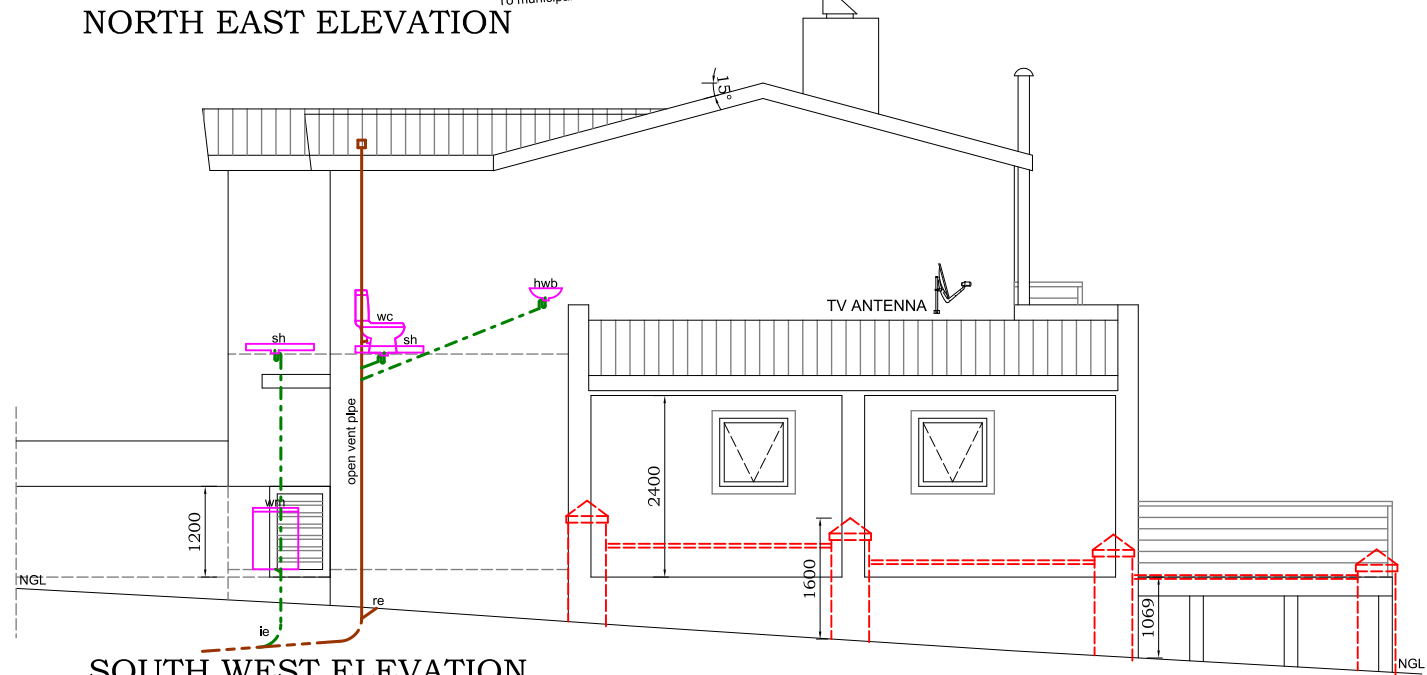
JACK ANDREW (PAD 20911)
SARAH ANDERSON (CAD 65313806)

DATE: 19 JULY 2023

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Contractors must verify all dimensions on site before commencing work.

SOUTH EAST ELEVATION

NORTH EAST ELEVATION^{To}

SOUTH WEST ELEVATION

NOTES:

SCALE 1:100

DOOR AND WINDOW SCHEDULE (1:200)

All window and door styles to be white aluminium, as confirmed by owner
Safety glazing, where shown, as per SANS 1263-1 and marked by glass installer. S= safety glass

D1		SECTIONAL GARAGE DOOR	1 REQUIRED
D2		ALUMINIUM SLIDING DOOR WITH SIDELIGHTS	1 REQUIRED
D3		ALUMINIUM FOLDING DOOR	1 REQUIRED
D4		ALUMINIUM SLIDING DOOR WITH SIDELIGHTS	2 REQUIRED
D5		ALUMINIUM SLIDING DOOR	1 REQUIRED
D6		ALUMINIUM GLASS DOOR WITH SIDELIGHTS	1 REQUIRED
D7		ALUMINIUM DOOR - GLASS ON TOP SOLID UNDER	1 REQUIRED
D8		STANDARD HOLLOW CORE SINGLE/ FIRE DOOR	7 REQUIRED
W1		ALUMINIUM WINDOW - PTT1212	2 REQUIRED
W2		ALUMINIUM WINDOW - PTT918	3 REQUIRED
W3		ALUMINIUM WINDOW - PT612 (SAFETY GLASS IN BATHROOMS)	8 REQUIRED
W4		ALUMINIUM WINDOW - PT99	4 REQUIRED
W5		ALUMINIUM WINDOW - PT69	1 REQUIRED



PROJECT:

PROPOSED MODERN BEACH STYLE
HOUSE ON ERF 1031, BREEDEZICHT
ESTATE, WITSANDS

DESCRIPTION:

ELEVATIONS AND DOOR & WINDOW SCHEDULE

CLIENT: MR & MRS HULME

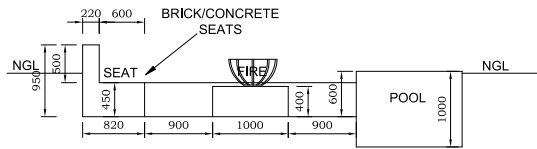
DESIGN & DRAFTING:

JACK ANDREW (PAD 20911)
SARAH ANDERSON (CAD 65313806)

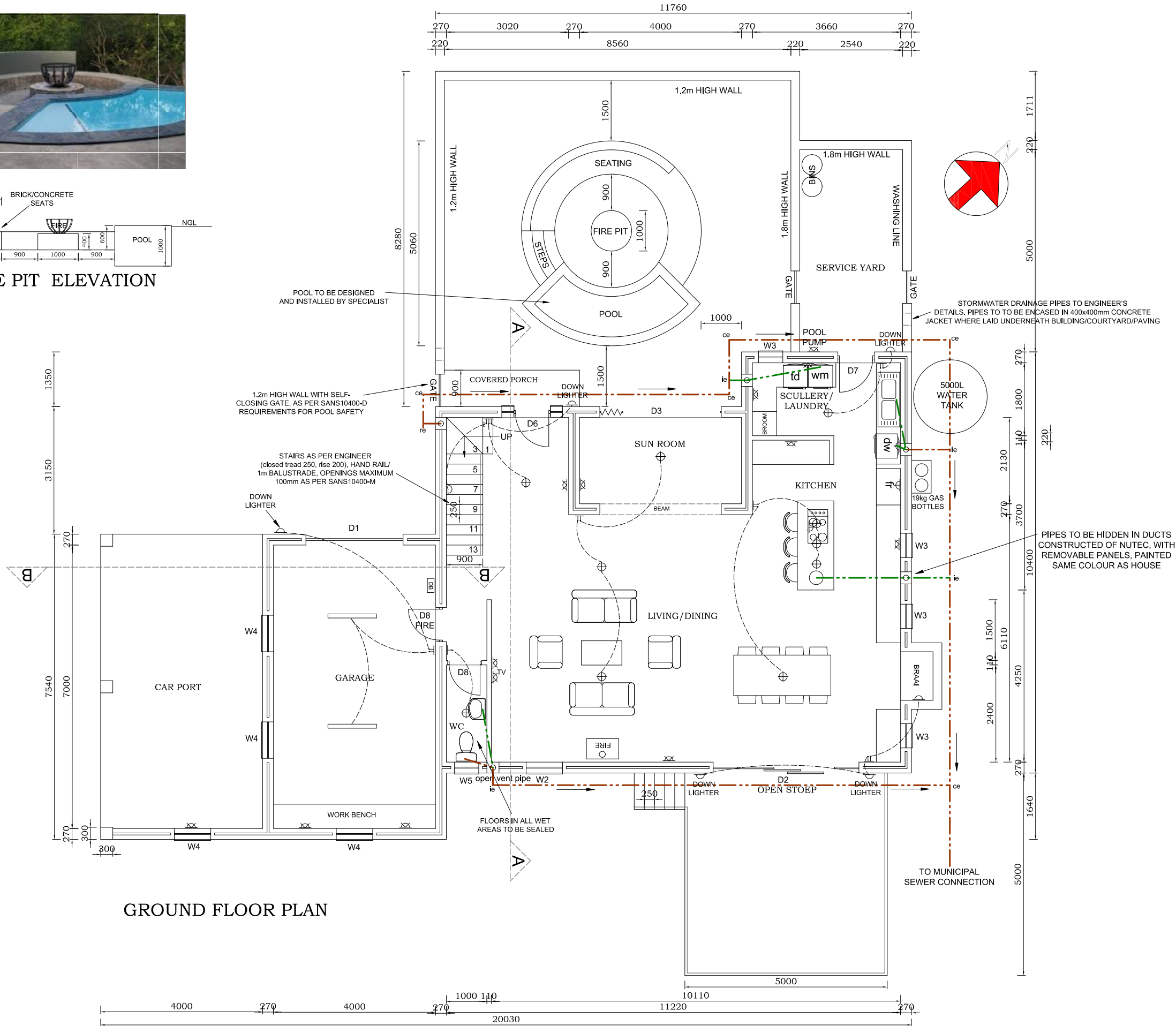
DATE: 19 JULY 2023

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FIRE PIT ELEVATION



GROUND FLOOR PLAN

NOTES:

SCALE 1:100

CAPE HERITAGE
ARCHITECTURE
DESIGN & DRAFTING
jack@masterstock.co.za
082 532 7573

PROJECT:

PROPOSED MODERN BEACH STYLE
HOUSE ON ERF 1031, BREDEZICHT
ESTATE, WITSANDS

DESCRIPTION:

GROUND FLOOR PLAN

CLIENT: MR & MRS HULME

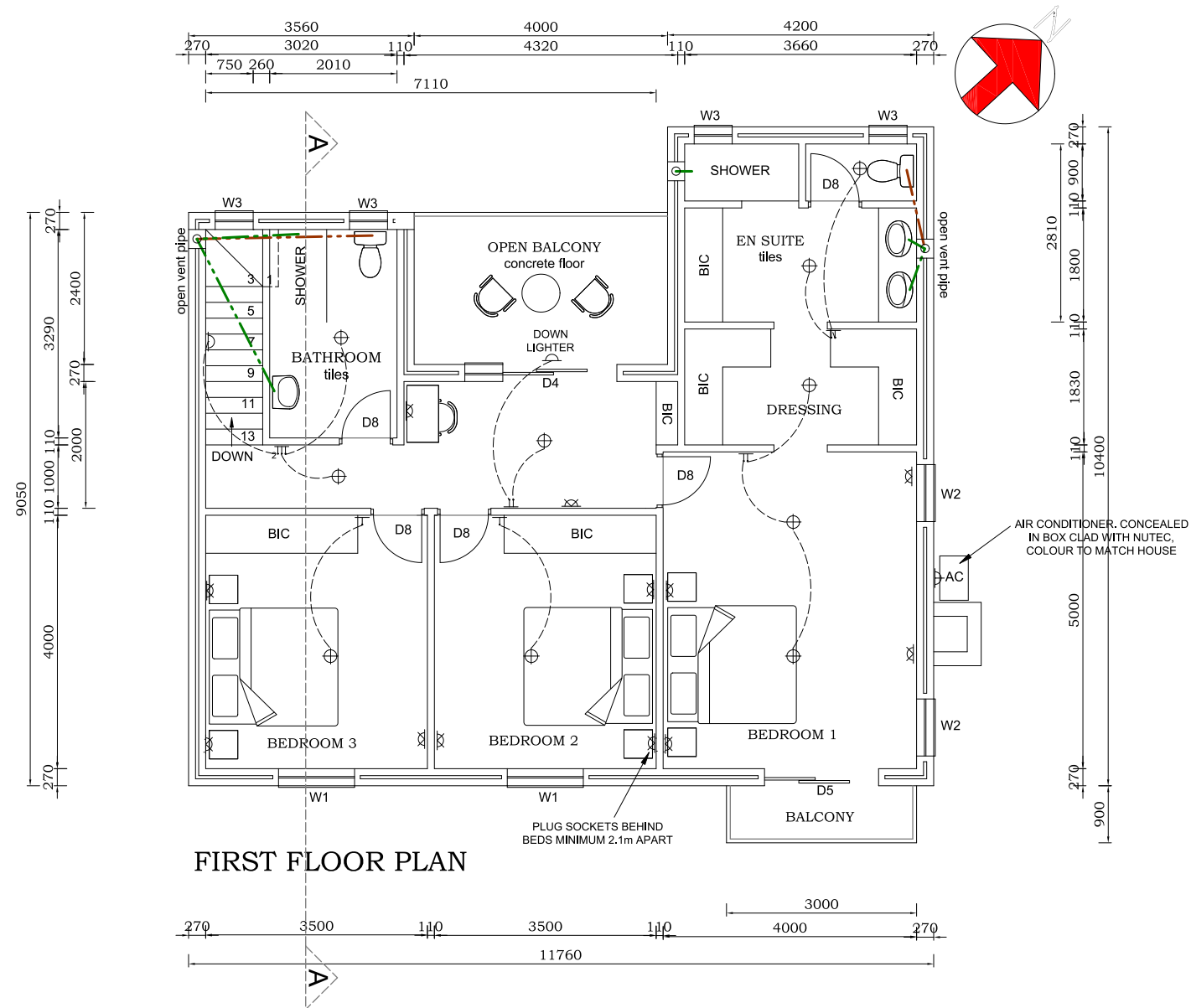
DESIGN & DRAFTING:

JACK ANDREW (PAD 20911)
SARAH ANDERSON (CAD 65313806)

DATE: 19 JULY 2023

PAGE 3 OF 5 REVISION NO.

Contractors must verify all dimensions
on site before commencing work.



FIRST FLOOR PLAN

DRAINAGE AND PLUMBING:-

- * ALL WORK TO BE CARRIED OUT BY A PIRB REGISTERED PLUMBER
- * INSIDE PLUMBING TO BE 15mm COPPER PIPES
- * SOIL WATER DRAINS TO BE 110 uPVC
- * WASTE PIPES TO BE 50mm DIA.
- * PROVIDE I.E.'s TO BENDS AND JUNCTIONS, WITH MARKED COVERS AT GROUND LEVEL
- * DRAINAGE PIPES TO HAVE MINIMUM FALL 1:40

ELECTRICAL:

- * ALL WORK TO BE CARRIED OUT BY A REGISTERED ELECTRICIAN
- * ALL FITTINGS TO OWNER'S SPECIFICATIONS
- * TV & TELEPHONE POINTS TO BE CONFIRMED BY OWNER

LEGEND:-

	Std 1200mm double tube fluorescent light
	Outside or wall light
	Ceiling light or spotlight
	Triple light switch
	Double light switch
	Single light switch
	Two-way switch
	Double wall socket
	Single wall socket
	Store socket
	Distribution board

NOTES:

SCALE 1:100

CAPE HERITAGE
ARCHITECTURE
DESIGN & DRAFTING
jack@masterstock.co.za
082 532 7573

PROJECT:

PROPOSED MODERN BEACH STYLE
HOUSE ON ERF 1031, BREEDEZICHT
ESTATE, WITSANDS

DESCRIPTION:

FIRST FLOOR PLAN

CLIENT: MR & MRS HULME

DESIGN & DRAFTING:

JACK ANDREW (PAD 20911)
SARAH ANDERSON (CAD 65313806)

DATE: 19 JULY 2023

PAGE 4 OF 5 REVISION NO.

Contractors must verify all dimensions
on site before commencing work.

SANS10400-XA 2021 Edition 2:-

FENESTRATION:-

Ground Floor - Net floor area = 129.9qm
Sqm of all windows/doors = 25.6sqm
% fenestration = 19.7%
First Floor - Net floor area = 89.5qm
Sqm of all windows/doors = 17.8sqm
% fenestration = 19.9%
therefore complies with fenestration as per 5.3, equal to/less than 20%

EXTERNAL WALLS:-

Walls with surface density greater than or equal to 270kg/sqm
R-value - 0.6 sqm/K/W (50mm cavity wall construction), or
Walls with surface density less than 270kg/sqm
R-value - 1.9 sqm/K/W / CR value - 80 hours

ROOF ASSEMBLY CONSTRUCTION:-

Minimum total R-value for zone 4 = 3.7sqm K/W
Direction of heat flow = Up
Roof and ceiling materials, including sisalation = 0.30-0.35sqm K/W
Glass wool insulation, ie. 135mm Aerolite (or equivalent) = 3.38sqm K/W
or 80-90mm Extruded polystyrene insulation (such as Sanboard) = 3.33-3.75sqm K/W

HOT WATER SUPPLY:-

Average annual water usage = 115 litres/person/day
Hot water storage volume @ 60C = 50 litres/person
1x 200L hot water tank (solar & electric) to meet hot water demand

Hot water pipes to be clad with insulation with minimum R-value of 1 (under 80mm diameter, or 1.5 (over 80mm diameter) - such as Isover Snap on Pipe glasswool insulation

LIGHTING:-

Lighting power density = 4W/sqm
Lighting energy demand / netfloor area -
(29 lights@11W = 319W/219.4sqm = 1.45W/sqm), therefore complies - NB. LED & CPL lights automatically comply

NOTES:
SCALE 1:75



PROJECT:

PROPOSED MODERN BEACH STYLE
HOUSE ON ERF 1031, BREEDEZICHT
ESTATE, WITSANDS

DESCRIPTION:

SECTION AND NOTES

CLIENT: MR & MRS HULME

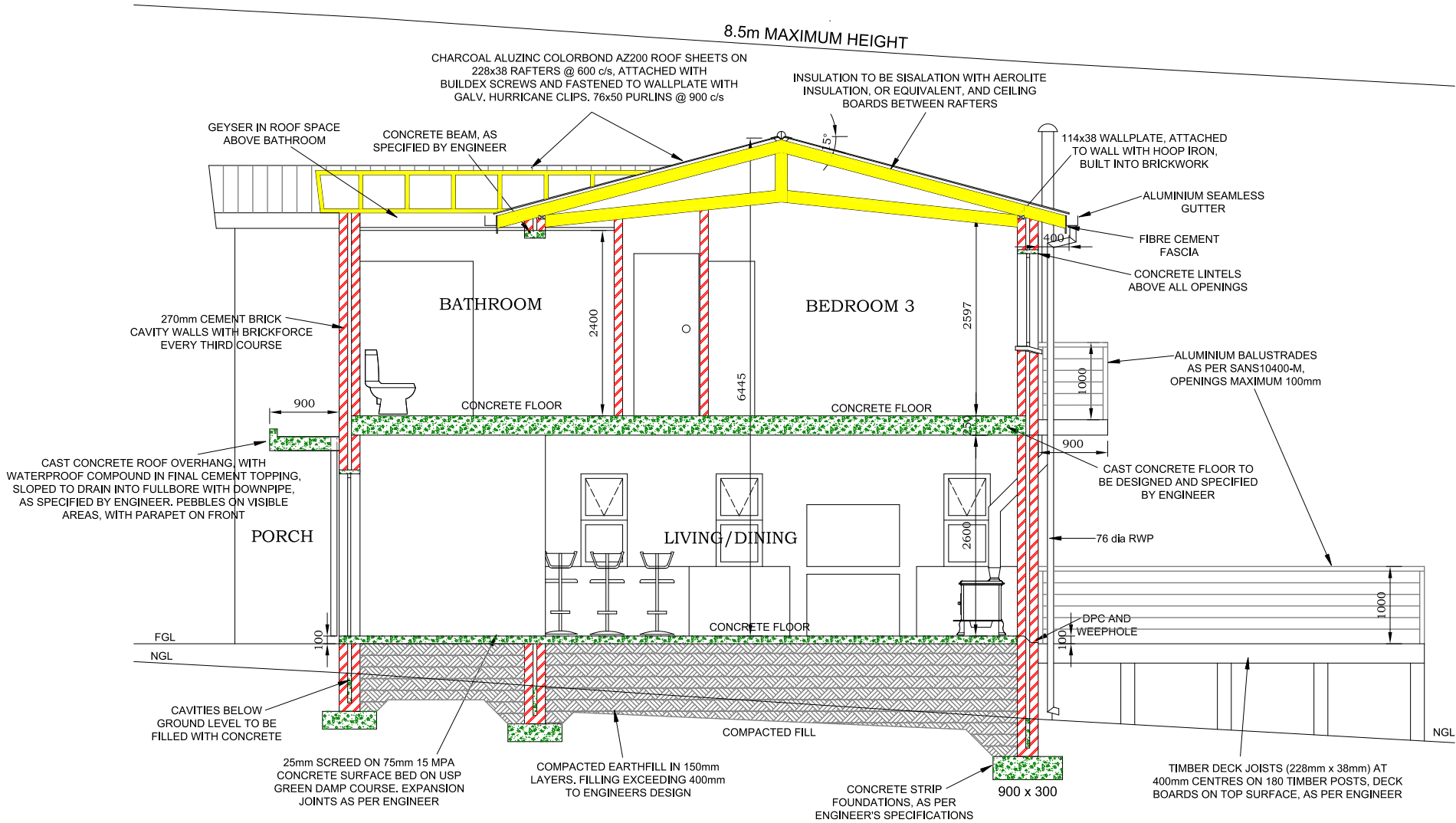
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DATE: 19 JULY 2023

PAGE 5 OF 5 REVISION NO.

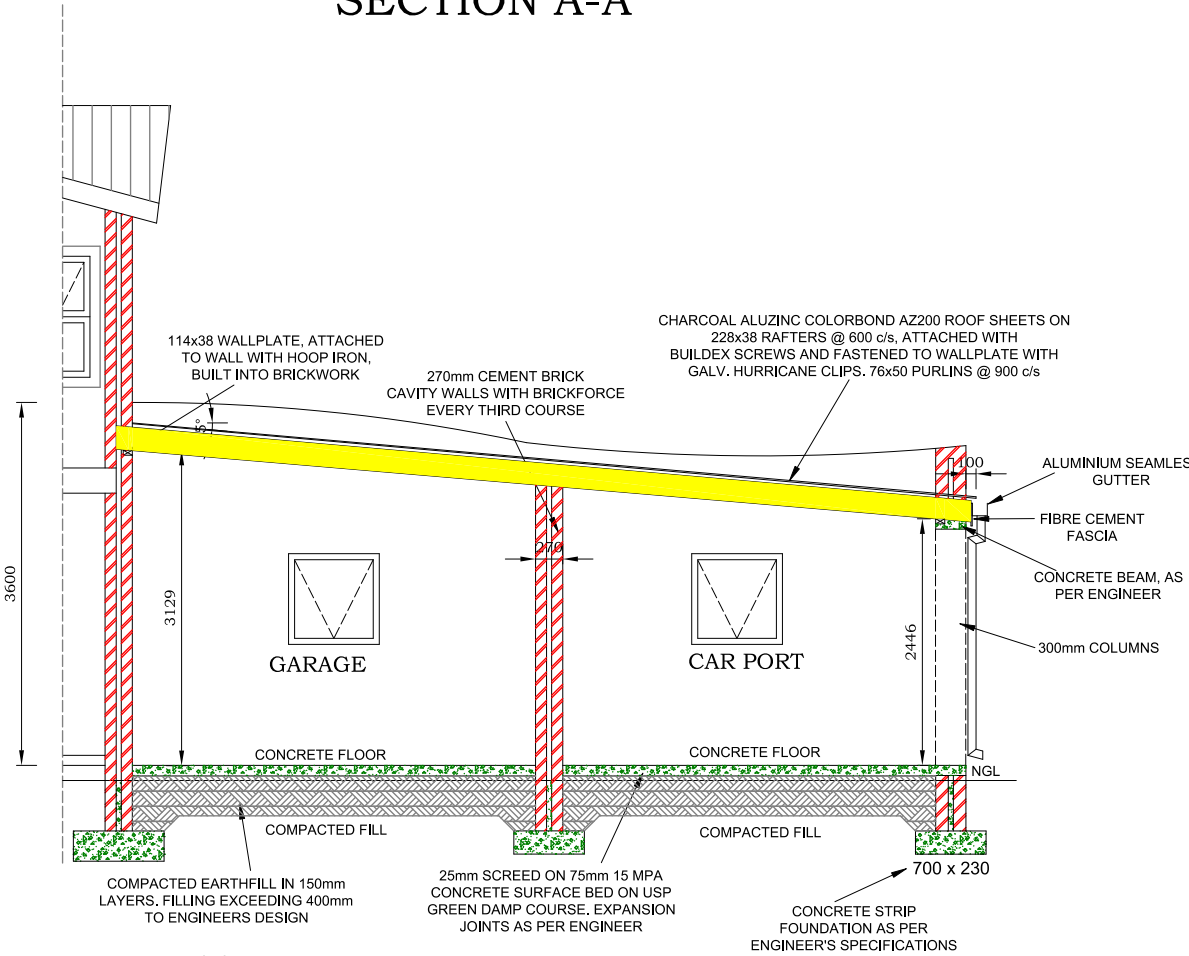
Contractors must verify all dimensions
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SECTION A-A

GENERAL NOTES:

- * ALL BUILDING WORK AND SPECIFICATIONS TO COMPLY WITH BREEDEZICHT CONSTRUCTION GUIDELINES
- * CHARCOAL ALUZINC ROOF SHEETS ON TIMBER ROOF STRUCTURE, AS SPECIFIED BY ENGINEER/ROOF SPECIALIST
- * EXTERIOR WALLS TO BE PLASTERED & PAINTED, COLOUR AS SHOWN ON PLAN
- * INTERIOR WALLS TO BE PLASTERED AND PAINTED WITH 1 COAT UNIVERSAL UNDERCOAT & 2 COATS TOPCOAT TO OWNER'S SPECIFICATIONS
- * CONCRETE FLOORS TO BE PAINTED OR TILED, AS CHOSEN BY OWNER
- * BATHROOM WALLS TO BE TILED TO OWNER'S SPECIFICATION
- * ALL SANITARY WARE AND BATHROOM FITTINGS TO OWNER'S SPECIFICATIONS
- * DUAL FLUSH TOILETS & LOW FLOW SHOWER HEADS TO BE USED IN ALL BATHROOMS
- * KITCHEN DESIGN AND UNITS TO BE CHOSEN BY OWNER
- * GARAGE DOOR, GUTTERS, CORNICING, SKIRTINGS, ETC. TO BE CONFIRMED AND CHOSEN BY OWNER
- * PAVING BRICKS ON DRIVEWAY AND SERVICE YARD, COLOUR AS CHOSEN BY OWNER
- * DOORS/WINDOWS TO BE WHITE ALUMINIUM
- * GATES TO BE ALUMINIUM & NUTEC - PAINTED TO MATCH HOUSE COLOUR
- * BALUSTRADES TO BE ALUMINIUM AND TO COMPLY WITH NBRs
- * SERVICE DUCTS TO BE COVERED WITH REMOVABLE FIBRE CEMENT & PAINTED TO MATCH HOUSE
- * POSITION OF SOLAR GEYSER TO BE DETERMINED BY SPECIALIST INSTALLER
- * ALL LEVELS TO BE DETERMINED ON SITE PRIOR TO COMMENCEMENT OF BUILDING WORK
- * POSITION OF SEWER, WATER AND ELECTRICITY CONNECTIONS TO BE CONFIRMED ON SITE
- * POSITION OF PLUMBING AND ELECTRICAL POINTS TO BE CONFIRMED ON SITE
- * STORMWATER DRAINING SYSTEM TO ENGINEER'S DESIGN AND DETAILS TO COMFORM TO SANS 10400-R



SECTION B-B