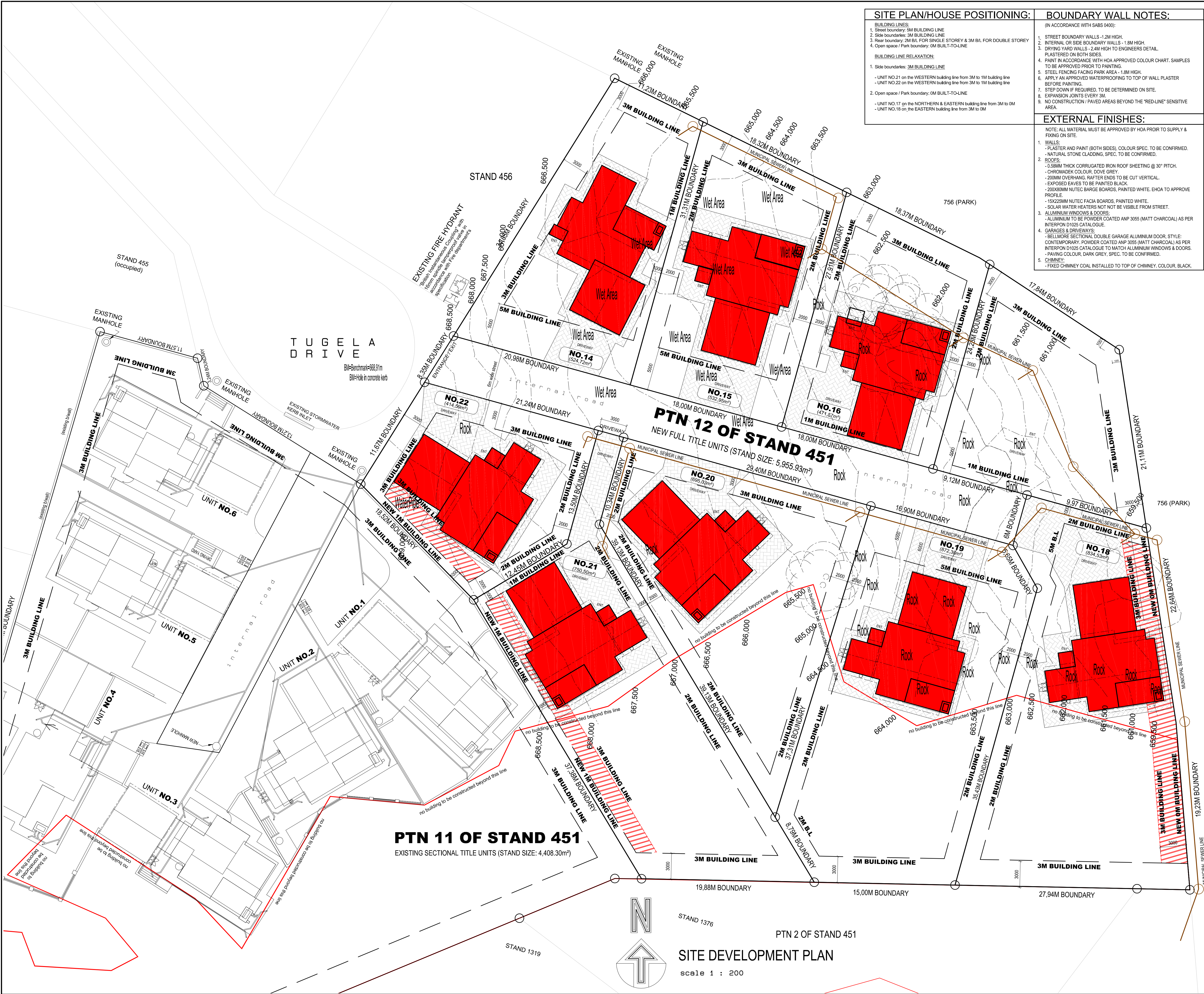




SITE PLAN/HOUSE POSITIONING:
BUILDING LINES:
1. Street boundary: 5M BUILDING LINE
2. Side boundaries: 3M BUILDING LINE
3. Rear boundary: 2M B/L FOR SINGLE STOREY & 3M B/L FOR DOUBLE STOREY
4. Open space / Park boundary: 0M BUILT-TO-LINE
BUILDING LINE RELAXATION:
1. Side boundaries: 3M BUILDING LINE
- UNIT NO.21 on the WESTERN building line from 3M to 1M building line
- UNIT NO.22 on the WESTERN building line from 3M to 1M building line
2. Open space / Park boundary: 0M BUILT-TO-LINE
- UNIT NO.17 on the NORTHERN & EASTERN building line from 3M to 0M
- UNIT NO.18 on the EASTERN building line from 3M to 0M

BOUNDARY WALL NOTES:
(IN ACCORDANCE WITH SABS 0400):
1. STREET BOUNDARY WALLS -1.2M HIGH.
2. INTERNAL OR SIDE BOUNDARY WALLS - 1.0M HIGH.
3. DRYING YARD WALLS -2.4M HIGH TO ENGINEERS DETAIL. PLASTERED ON BOTH SIDES.
4. PAINT IN ACCORDANCE WITH HOA APPROVED COLOUR CHART. SAMPLES TO BE APPROVED PRIOR TO PAINTING.
5. STEEL FENCING FACING PARK AREA - 1.8M HIGH.
6. APPLY AN APPROVED WATERPROOFING TO TOP OF WALL PLASTER BEFORE PAINTING.
7. STEP DOWN IF REQUIRED, TO BE DETERMINED ON SITE.
8. EXPANSION JOINTS EVERY 3M.
9. NO CONSTRUCTION / PAVED AREAS BEYOND THE 'RED-LINE' SENSITIVE AREA.
EXTERNAL FINISHES:
NOTE: ALL MATERIAL MUST BE APPROVED BY HOA PRIOR TO SUPPLY & FIXING ON SITE.
1. WALLS:
- PLASTER AND PAINT (BOTH SIDES), COLOUR SPEC. TO BE CONFIRMED.
- NATURAL STONE CLADDING, SPEC. TO BE CONFIRMED.
2. ROOFS:
- 0.58MM THICK CORRUGATED IRON ROOF SHEETING @ 30° PITCH.
- CHROMADEK COLOUR, DOVE GREY.
- 200MM OVERHANG, RAFTER ENDS TO BE CUT VERTICAL.
- EXPOSED RAFTERS TO BE PAINTED BLACK.
- 200X80MM NUTEC BARGE BOARDS, PAINTED WHITE, EHOA TO APPROVE PROFILE.
- 15X225MM NUTEC FACIA BOARDS, PAINTED WHITE.
- SOLAR WATER HEATERS NOT NOT BE VISIBLE FROM STREET.
3. ALUMINIUM WINDOWS & DOORS:
- ALUMINIUM TO BE POWDER COATED ANP 3055 (MATT CHARCOAL) AS PER INTERPON D1025 CATALOGUE.
4. GARAGES & DRIVEWAYS:
- BELLMORE SECTIONAL DOUBLE GARAGE ALUMINIUM DOOR, STYLE: CONTEMPORARY, POWDER COATED ANP 3055 (MATT CHARCOAL) AS PER INTERPON D1025 CATALOGUE TO MATCH ALUMINIUM WINDOWS & DOORS.
- PAVING COLOUR, DARK GREY, SPEC. TO BE CONFIRMED.
5. CHIMNEY:
- FIXED CHIMNEY COAL INSTALLED TO TOP OF CHIMNEY. COLOUR, BLACK.

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1. All dimensions and heights must be checked and verified on site before pulling work to hand.
2. The Contractor must comply with all relevant regulations and codes as required under SANS10400.
3. Compliance Certificates relating to the various installations /supplied equipment must be submitted to the Owner on completion of the installation and prior to issuing of form 4; Certificate of completion of the structural, fire protection.

Notes:

TYPICAL AREA SCHEDULE PER UNIT:	
GROUND STOREY	
DOUBLE GARAGE	40.25 m²
ENTRANCE	3.10 m²
HOUSE	75.18 m²
COVERED PATIO	14.39 m²
SUB-TOTAL 132.93 m²	
FIRST STOREY	
HOUSE	77.71 m²
SUB-TOTAL 77.71 m²	
FIRST FLOOR COVERAGE MAX 80% OF GROUND F. COMPLIANT 58.46%	
TOTAL BUILDING AREA 210.64 m²	

COVERAGE:	
(UNIT NO.14):	
AREA OF SITE	524.72 m²
F.A.R.	0.40
GROUND FLOOR COVERAGE MAX 50% OF STAND COMPLIANT 25.33%	
(UNIT NO.15):	
AREA OF SITE	532.95 m²
F.A.R.	0.40
GROUND FLOOR COVERAGE MAX 50% OF STAND COMPLIANT 24.94%	
(UNIT NO.16):	
AREA OF SITE	471.58 m²
F.A.R.	0.45
GROUND FLOOR COVERAGE MAX 50% OF STAND COMPLIANT 28.19%	
(UNIT NO.18):	
AREA OF SITE	834.53 m²
F.A.R.	0.25
GROUND FLOOR COVERAGE MAX 50% OF STAND COMPLIANT 15.93%	
(UNIT NO.19):	
AREA OF SITE	872.38 m²
F.A.R.	0.24
GROUND FLOOR COVERAGE MAX 50% OF STAND COMPLIANT 15.24%	
(UNIT NO.20):	
AREA OF SITE	695.03 m²
F.A.R.	0.30
GROUND FLOOR COVERAGE MAX 50% OF STAND COMPLIANT 19.13%	
(UNIT NO.21):	
AREA OF SITE	750.50 m²
F.A.R.	0.28
GROUND FLOOR COVERAGE MAX 50% OF STAND COMPLIANT 17.71%	
(UNIT NO.22):	
AREA OF SITE	414.59 m²
F.A.R.	0.51
GROUND FLOOR COVERAGE MAX 50% OF STAND COMPLIANT 32.06%	

BONHEUR PROPERTIES (PTY) LTD
PROPOSED NEW DWELLING UNITS
(NO.14-22) ON PTN 12 OF ERF 451,
TUGELA DRIVE, ELAWINI LIFESTYLE
ESTES, RIVERSIDE PARK,
EXTENSION 5, MBOMBELA.

PROFESSIONAL ARCHITECTURAL DRAUGHTING & INTERIOR DESIGN
CORNÉL VAN BILJON
POWER OF ATTORNEY:
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Drawing Title: **SITE DEVELOPMENT PLAN** Scale: **1:200**
Date: **NOVEMBER 2019** Drawing reference: **REV 04**
Revision notes: **LX23 - SDP01**
Revision no:
REV.01 - Building Lines relaxed to min.1m, except for Unit 5 with 0m building line on Western boundary.
REV.02 - Unit numbers changed to no. 14, 15, 16, 17, 18, 19, 20, 21 & 22.
REV.03 - Updated SDP submitted for EHOA.
REV.04 - Omit unit 17 in its entirety.

A1 SIZE: MUNICIPAL DRAWING