

Council Approval Stamps

Dry Wall Construction:

- 100mm x 50mm Head Plate fixed to ceiling with screws at 200mm crs.
- 100mm x 50mm Sole Plate fixed to concrete floor with M8 rawl bolts at 500 crs.
- 100mm x 50mm Studs at 600mm crs.
- 100mm x 50mm Staggered Noggings at 800mm crs.
- Dry Wall cladding to be 12.5mm Rhino Board fixed to frame with dry wall screws at 220crs.
- Dry Wall fixed to existing brick walls with M8 rawl bolts at 500 crs.

Windows and Doors:

- Windows and doors to conform to SANS 10400 Part N, O and XA
- Supply minimum 10% light area to each respective room floor area of which 5% to be ventilation.
- Windows and doors to be provided as per window schedule.
- Precast, pre-stressed lintels over all openings up to 3m wide with a min of 4 courses of brickwork with brick force over and a min. of 220mm bearing on each side and laid in accordance with the manufacturer's specification.
- Damp proof course to be provided correctly to all windows and external doors.
- Glazing to comply with SANS 10137 and SANS 10400 Part N.
- All windows and doors (internal and external), serving a habitable space whether normal doors, folding doors or sliding doors, are to be fitted with a foam, a compressible rubber strip or a fibrous seal to restrict Air Leakage as per SANS 10400-XA clause 5.7.4.
- Windows and door openings in the external walls are to be sealed to prevent Air Leakage in accordance with SANS 10400-XA clause 5.7.1.
- Owner and/or Building contractor is responsible to supply necessary fenestration certificates confirming that external windows and doors as installed conform to the windows specified in the door and window schedule as well as the Fenestration calculations.

Drainage, Water Pipes Appliances and Fittings:


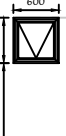
- All drainage work to comply with SANS 10400-P
- All plumbing and drainage work to be done by a plumber who conforms to SANS 10400 - Regulation A1.8.
- All appliances and fittings to conform to their relevant SANS Specification (See SANS 10252-1)

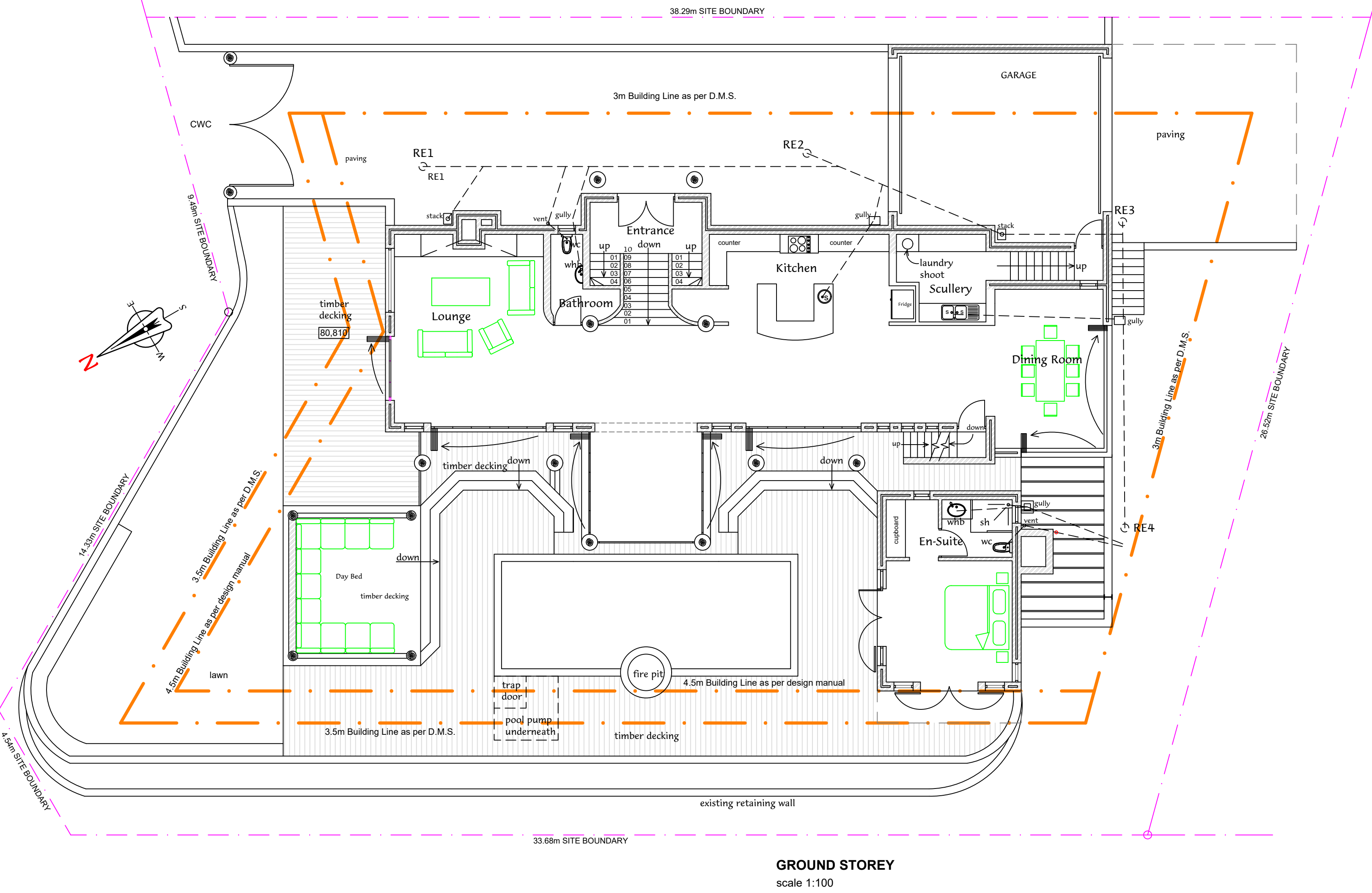
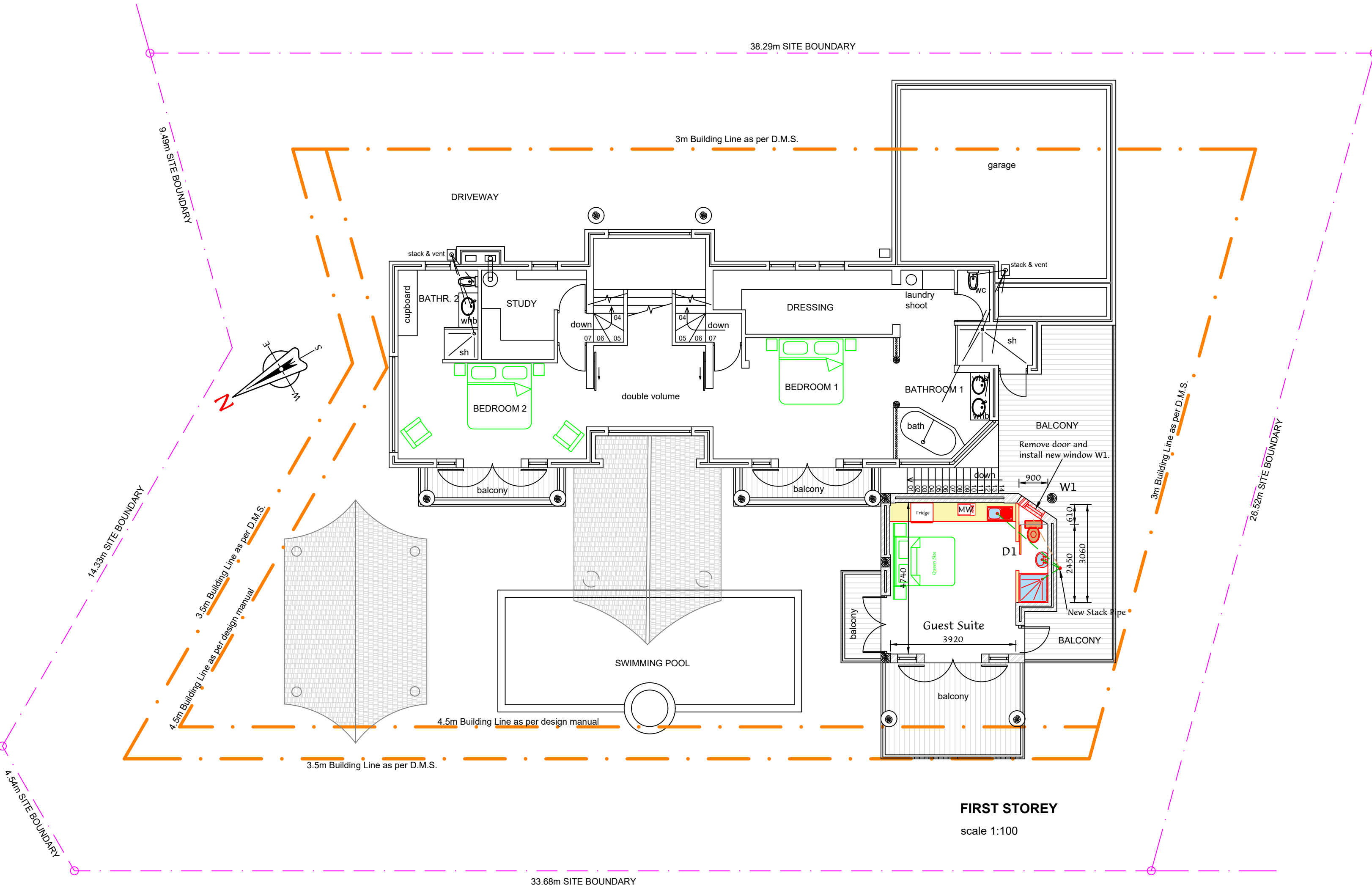
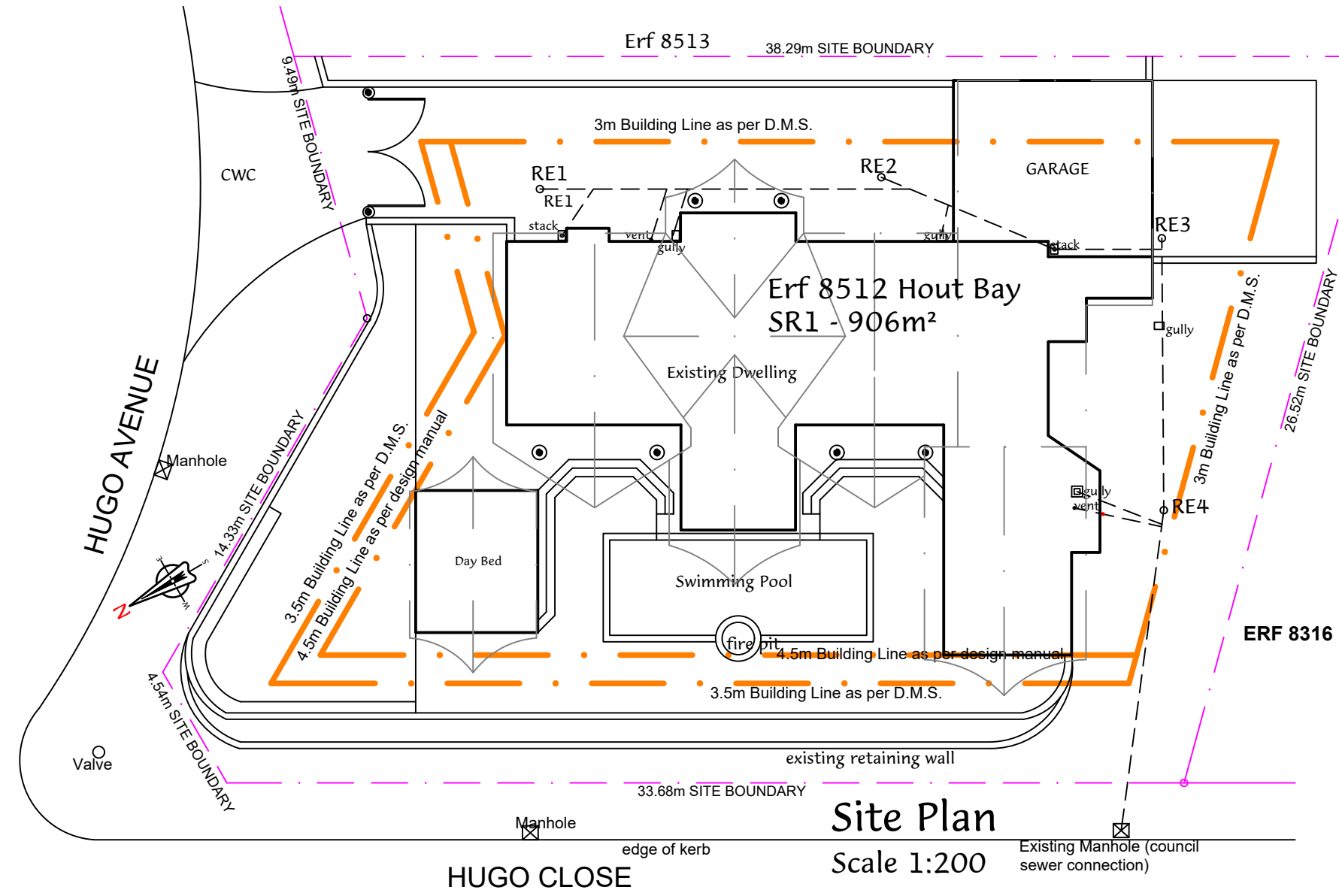
- Water efficient taps and showerheads to be installed.
- Dual flush cistern (3/6 litre) to be used with maximum flow rate of 6 litres.
- Shower heads to have maximum flow rate of 7 litres/minute.
- Wash hand basins to have demand/metering taps.
- Tiling to be provided behind all wash hand basins and sinks to a minimum height of 300mm.
- Shower walls to be tiled to a minimum height of 1900mm.
- All sanitary fittings to have 75mm deep seal anti-vac traps.
- Soil and vent pipes to be Ø110mm PVC, Ø32mm to WHB.
- All waste pipes to enter separately into vent stack.
- All water pipes to be 22mm copper reducing to 15mm at each fitting.
- All exposed hot water pipes to be thermally insulated with 70mm Polyester Fibre with an R-value of 1.0.
- Pipes to be chased into brickwork.

GENERAL

- Manufacturer to take and confirm own measurements before construction.
- All dimensions and levels to be checked on site before commencement of works
- All building work and drainage to be in strict accordance with SANS 10400 requirements
- All timber (See Regulation A1.8(1)(b)) used in the erection of a building shall be preservative treated in accordance with SANS 10005, as relevant.
- Floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal shall comprise an impervious material, fit for its intended purpose, laid on top of, or bonded to, the flooring system, which
 - can hold any surface water in such a manner that it prevents the flooring system from deteriorating in any way until such time that the water can evaporate, be drained or be removed, and
 - can accommodate any movement in the flooring system without losing its impermeable properties.
- All ceilings to be skimmed plasterboard on 38 x 38 battens at 400 crs or as specified elsewhere
- New work to match existing.

Window & Door Schedule

2700 Head Height 2400 Head Height 2100 Head Height		
Floor Level		
Window Number	W1	D1
Position:	Guest Suite.	Guest Suite.
Frame:	Aluminium.	Wood.
Window Size:	600mm wide by 600mm high.	900mm wide by 2100mm high.
Glazing Area:	0.2221m²	---
Glazing:	4mm Clear Glass.	---
Casements:	Top Hung, Opening Out.	---
Fanlights:	---	---
Catalogue:	Aluminium PT66 or Similar	---
Shading Element:	None	---
• All glazing to comply with requirements of SANS 10137, SANS 10400 Part N and SANS 10400 Part XA		
• Shading Element to comply with SANS 10400 Part XA, clause 5.2.		
• All windows on the first storey where the bottom of the window is closer than 1.0 metre from the floor level is to be provided with a 1.0 metre high Juliet balcony with openings not exceeding 100mm.		
• Safety glazing shall be provided to all bathroom windows where the bath and/or shower is within 1800mm to the window.		
• Safety glazing materials that comply with SANS 1263-1 shall be used where: <ul style="list-style-type: none">• doors and sidelights form part of any entrance up to 2 100 mm from finished floor level;• a window has a sill height of less than 500 mm from the floor or external ground level;• a window has a sill height of less than 800 mm from the floor or external ground level without any permanent barrier that prevents persons from coming into contact with the glass panel, and is so placed that persons are likely, on normal traffic routes, to move directly towards such window;• any windows or doors with glazing in excess of 1 square metre;• and clearly indicated as such on glass at eye level and are permanently visible after installation.		
• All external doors serving a habitable space whether normal doors, folding doors or sliding doors, are to be fitted with a foam, a compressible rubber strip or a fibrous seal to restrict Air Leakage as per SANS 10400 XA clause 5.7.		
• Windows and door openings in the external walls are to be sealed to prevent Air Leakage in accordance with SANS 10400 XA Clause 5.7.		
• Owner and/or Building contractor is responsible to supply necessary fenestration certificates (where necessary) confirming that external windows and doors as installed conform to SANS 10400 Part XA and the windows specified in the door and window schedule as well as the Fenestration calculations.		



GENERAL NOTES

1. All dimensions in mm.
2. Figured dimensions to be used in preference to scaled dimensions.
3. All dimensions to be checked on site before building work commences.
4. All materials and building work to comply with the National Building Regulations, local building regulations and SANS 10400. All building methods and materials used are to be SABS approved and used according to manufacturer's specification.
5. The building area must be cleared of vegetable matter and all relevant levels and dimensions taken in preference to scaled dimensions.
6. Filling under floors, steps and back filling to foundations to be appropriate clean dry material and shall be free of clay and vegetable and deleterious matter. Filling to be leveled and mechanically compacted in dampened layers of at least 150mm.
7. All electrical work by a registered electrical specialist.
8. All exposed electrical fittings to be strictly child safe.
9. All Glazing to comply with SANS 10400 Part N.
10. All New Work shown on these drawings complies with SANS 10400-XA

COVERAGE:

Existing Dwelling:	=	303m²
Erf Area	=	906m²
Percentage Coverage	=	33.44%

Land Use Management Departures.
NONE

This plan is compliant as per the Tile Deed,
Municipal Planning By-Law, 2019 (MPBL 2019)
and City of Cape Town Development
Management Scheme (DMS).

Print Size = A1

No.	Revision	Date
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DRAWN BY:
Paul M Marsh
Professional Architectural Draughtsman D0171
102 Chudleigh Road, Plumstead, Cape. 7800 - moeras@telkomsa.net
Tel: 021 761-6246 Cell: 083 324-6245


Signature:



OWNER:

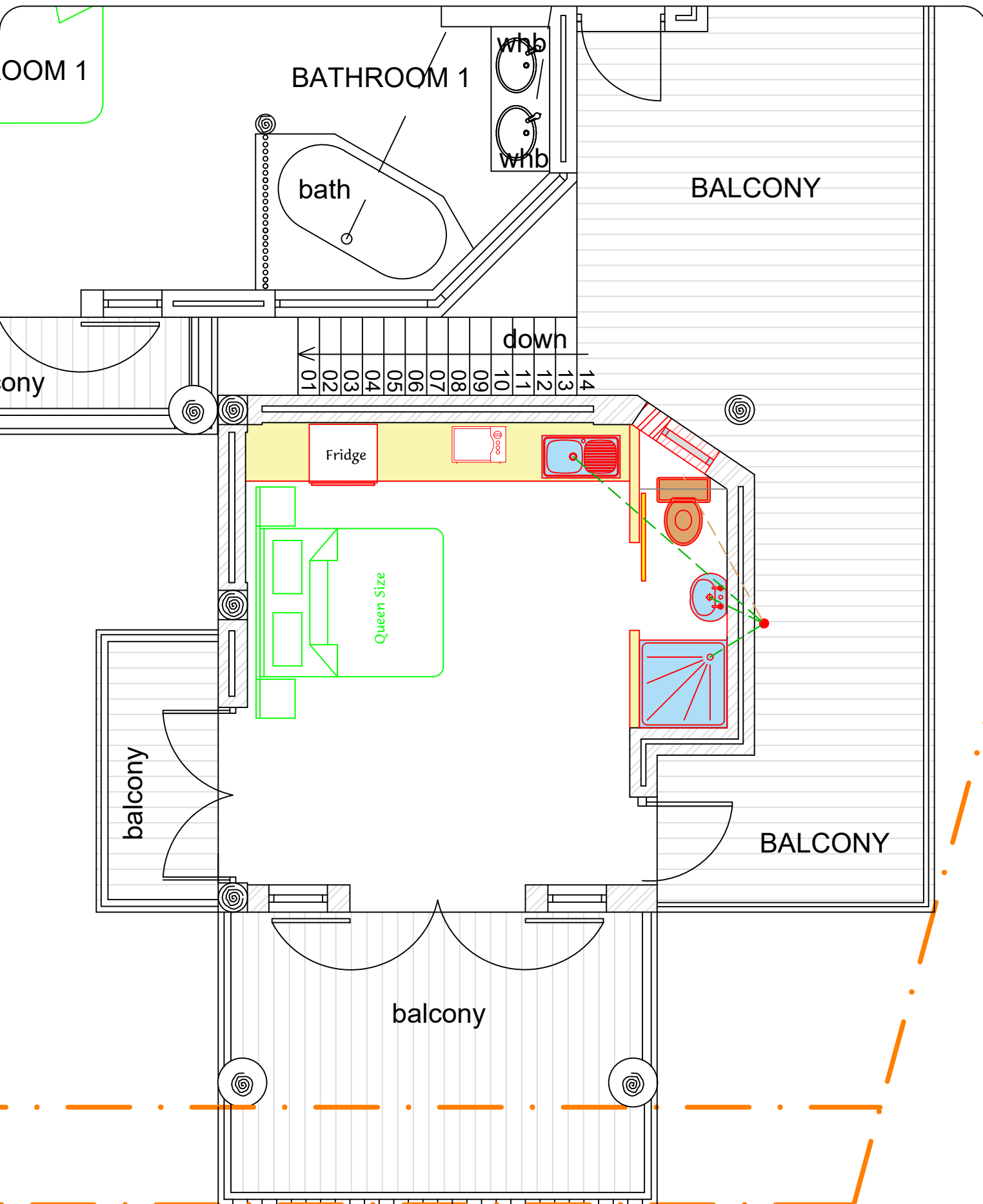
Name: Carsten Lehn
Street: 1 Hugo Close
Ext.: Hout Bay
City: Cape Town
Erf No.: 8512 (Hout Bay)

Signature: _____

PROJECT:

Alterations and Additions
to Existing Dwelling.

Scale	1:100	Date	10 June 2024	Rev	00
Drawing No.	PMM 24015	Sheet	1 of 1		



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Paul M Marsh

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PROJECT:

Alterations and Additions
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Scale 1:50	Date 10 June 2024	Rev 00
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Drawing No. PMM 24015	Sheet 1 of 1
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