

7383

1:60

Fibrecement Fascia

GRP Painted White

Aluminium Seamless

Match Roof Colour

Rolled Gutters To

15562

1:30

comply with sans

10400 Part V

-Waterproofing by

Specialist

Roof Plan 1:200

Concrete Roof Tiles on

top of S.A.P Roof Structure to Specialists

Design & to be Certified

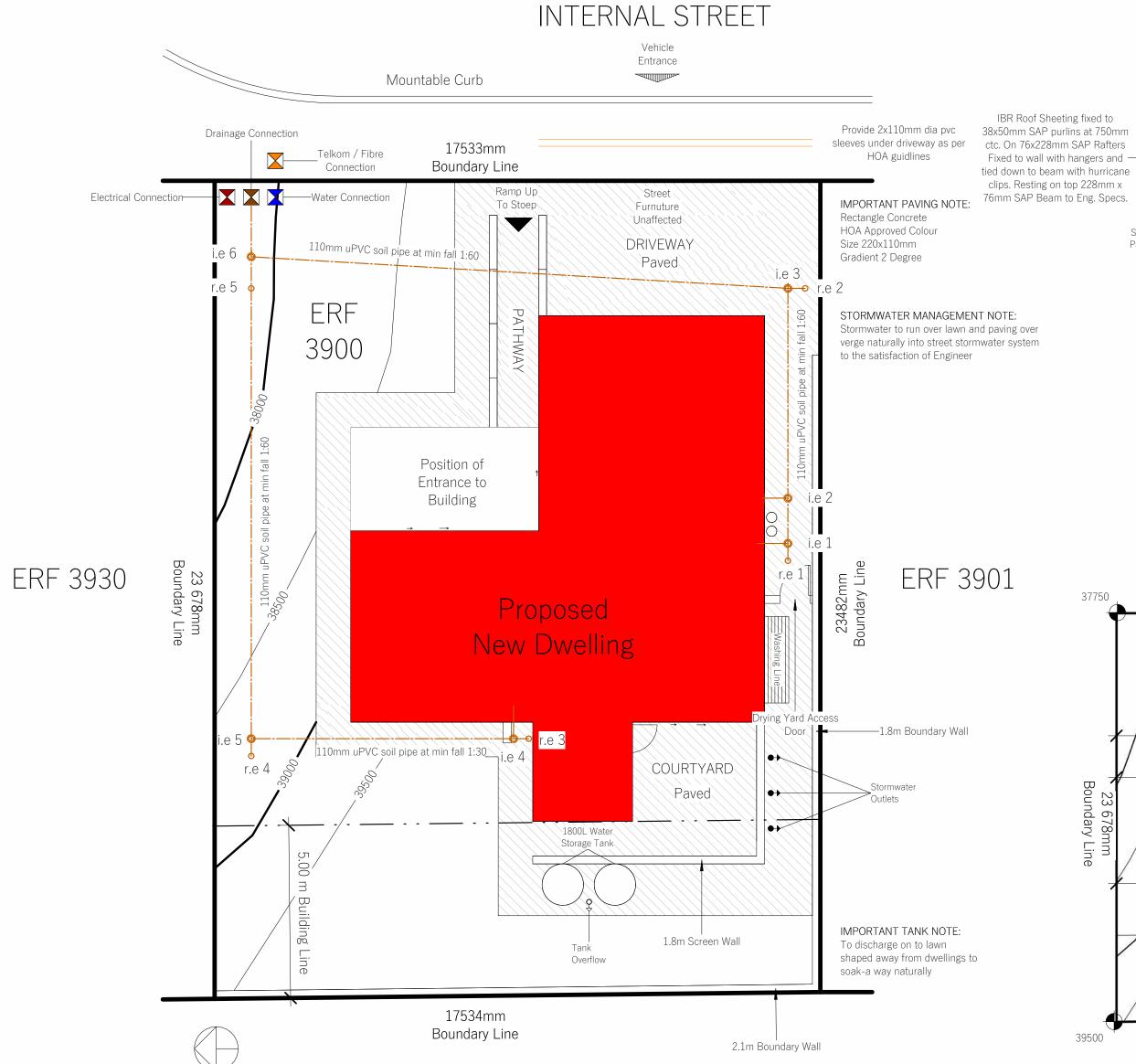
by Engineer

1800L Water

Distance

Fall

SCHEDULE OF RIGHTS	
ERF NUMBER	3900
TOWNSHIP	Homestead Drive, Sea Vista, St Francis
STREET NUMBER & NAME	Unit Number 36
SITE AREA	413m <sup>2</sup>
USE ZONE	Use Zone 1 : Residential
PARKING REQUIREMENT	2 Parking Bays per Unit
HEIGHT RESTRICTION	8.5m
FAR	31.80
Floor Areas	
GROUND STOREY Ground Floor Covered Stoep Garage FIRST STOREY Balcony First Floor TOTAL FLOOR AREA	130.81m <sup>2</sup> 73.03m <sup>2</sup> 13.06m <sup>2</sup> 44.72m <sup>2</sup> 124.50m <sup>2</sup> 16.35m <sup>2</sup> 108.15m <sup>2</sup> 255.31m <sup>2</sup>
Coverage	
Proposed New Dwelling	130.81m <sup>2</sup> ( 31.67% )
Gross Floor Area	
GROUND STOREY Ground Floor Covered Stoep FIRST STOREY First Floor TOTAL GROSS FLOOR AREA	86.09m <sup>2</sup> 73.03m <sup>2</sup> 13.06m <sup>2</sup> 108.15m <sup>2</sup> 108.15m <sup>2</sup> 194.24m <sup>2</sup>



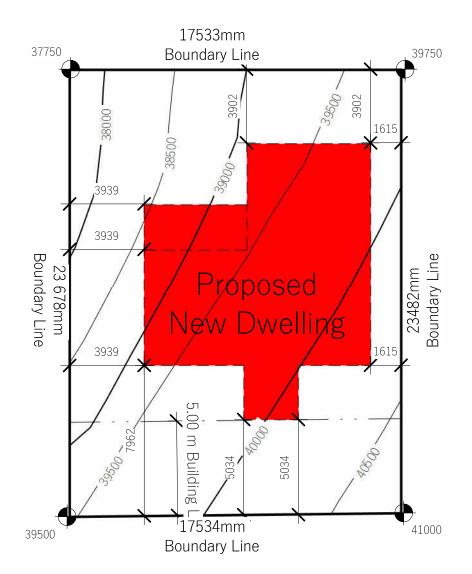
REMAINDER OF PORTION 27

OF THE FARM GOED GEOOF

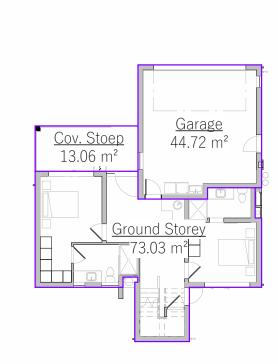
NO. 745

Site Plan

1:100



Contour Plan & Setting Out Dimemsions 1:200



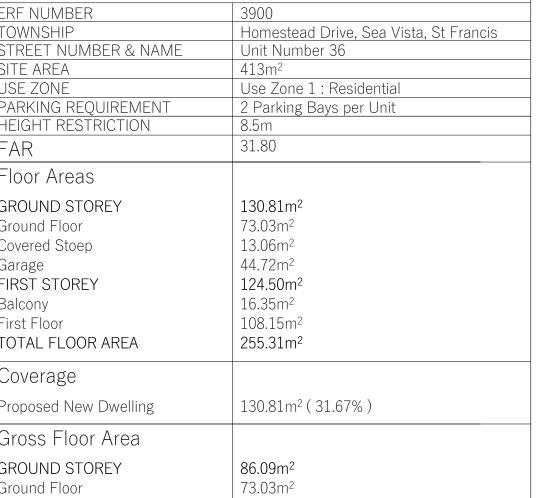
First Floor Balcony

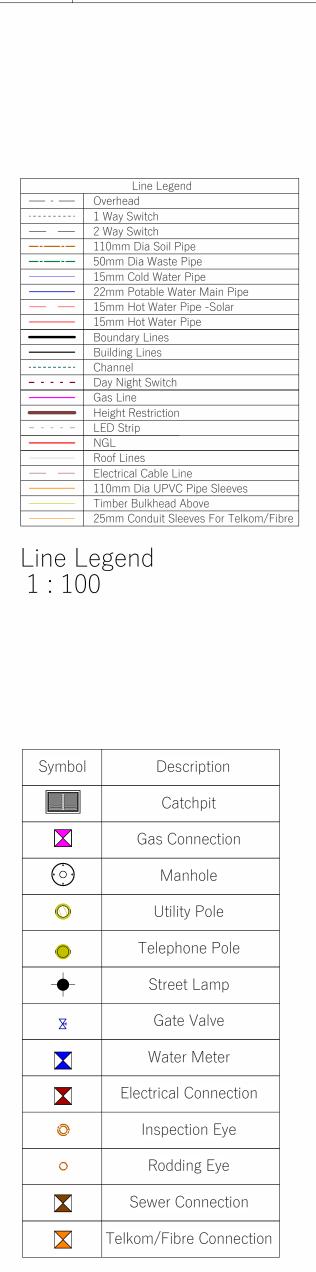
108.15 m<sup>2</sup>

First Storey Areas 1:200

Ground Storey Areas 1:200

Connection Legend 1:100





KOUGA MUNICIPAL STAMP Homestead Views Home Owners Association & Aesthetics Committee CONDITIONALLY APPROVED 21/07/2023 HBezdummut HSV HOA Subject to Local Municipal Authority Approval All work to be done and all materials to be used have to comply with SANS10400 regulations Part A - General Principles Part B - Structural Design Part C - Dimensions Part D - Public Safety Part E - Demolition work Part F - Site Operations Part G - Excavations Part H - Foundations Part J - Floors Part K - Walls Part L - Roofs Part M - Stairs Part N - Glazing Part O - Lighting Ventilation Part P - Drainage Part Q - Non Water Borne Sanitation Part R - Storm Water Part S - Disabled Part T - Fire Protection Part U - Refuse Disposal Part V - Space Heating Part W - Fire Installations Part X - Energy Energy Efficiency Supplement Documents as per SANS10400 forms part of adhered to. Contractors and Sub-contractors are to check all dimensions and levels on building site before commencing with any work. Figured dimensions to be taken in preference to scaled measurements and large scale details supersedes small scale drawings. The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him. Lighting & Energy Usage:

this set of drawings and specification should be read in conjunction with this documentation's.

all fluorescent light fittings to be SABS approved 11W LED

all other light fittings to min. SABS approved 5W LED with 50W output.

all timber work to comply with SABS standards 082; 0137; 0400

all timber to be treated to SABS specs 1228 of 1994

provision of space heating to comply with SANS10400 part V - where applicable

The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him.

Site Plan, Contour Plan & Setting Out Dimemsions, Schedule of Rights, Roof Plan, Drainage Section, Connection Legend, Line Legend PROPERTY OWNER / AUTHORIZED AGENT | CLIENTS APPROVAL SIGNATURE

The Lifestyle Village (Pty) Ltd PROJECT ADDRESS Unit 36 Homestead Drive ERF/HOLDING/PORTION Sea Vista ERF 3900 St Francis Eastern Cape PLAN NUMBER South Africa NATURE OF PROJECT Proposed New Dwelling 21/07/2023 DRAWN DESIGNED CHECKED BY H.B SCALE As indicated



UNIT NO.1 - VASCO BUILDING 111 DA GAMA ROAD Jeffrey's Bay cell: 082 553 61583

Signature: HBezduuuuut email: henniearch3@hotmail.com PROFESSIONAL SENIOR ARCHITECTURAL

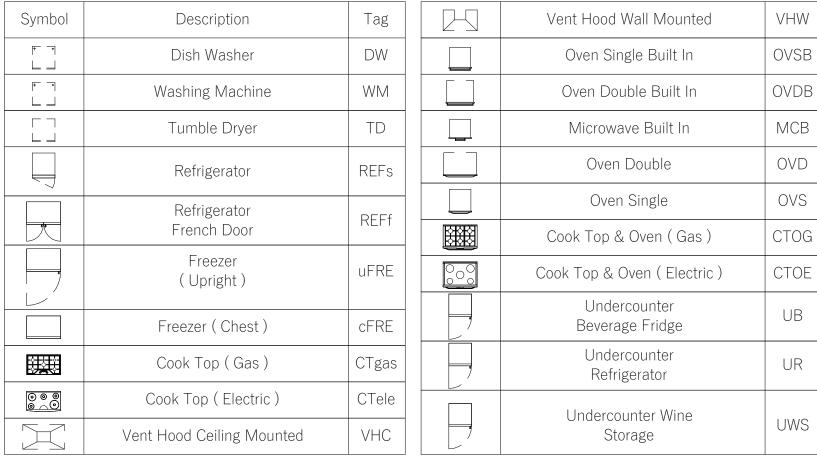
Date: 21/07/2023



Stalker Hutchison Admiral (Pty) Ltd Policy No. 7000/146176 SHA

Inter	nal Room Finish Sch	edule	
	Finish		
Room Name	Floor	Area	
	·		
Double Garage	Grano	37.91 m²	
Bedr. 1	Tiles	11.38 m²	
Bathr. 1	Tiles	4.78 m²	
Foyer/Entrance	Tiles	17.82 m²	
Store Rm.	Tiled	4.79 m²	
Bedr. 2	Tiles	14.90 m²	
Bathr. 2	Tiles	6.16 m²	
Stoep	Tiled	13.06 m²	
Ground Storey: 8	-		
Bedr. 3	Tiles	21.29 m²	
Bathr. 3	Tiles	9.82 m²	
Lounge	Tiles	26.78 m²	
Open Balcony	Tiles	16.32 m²	
Kitchen	Tiles	24.03 m²	
Scullery	Tiles	8.25 m²	
Toilet	Tiled	2.20 m <sup>2</sup>	

Symbol	Description	Tag			Hand Wash Basin Square	HWE
Ø	Gulley	Gu			Wall Mounted Toilet	WM
ø	Stubstack	SS		8	Basic Toilet	WC
ø	Vent Pipe	VP			Urinal	UR
<u> </u>	Garden Tap	GT		•	Pool Pump	PP
GB	Gas Bottle	GB		·	Free Standing Bath	В
° l°	Kitchen Sink Single	KSS			Tree dunding butt	
8	Prep Bowl	РВ			Built In Bath	В
	Kitchen Sink Double	KSD				
8	Washing Trough	WT			Shower	SH
٠٠٠	Kitchen Sink Triple	KST				
Ţ	Hand Wash Basin Round	HWB			Water Storage Tank	WS
			•			



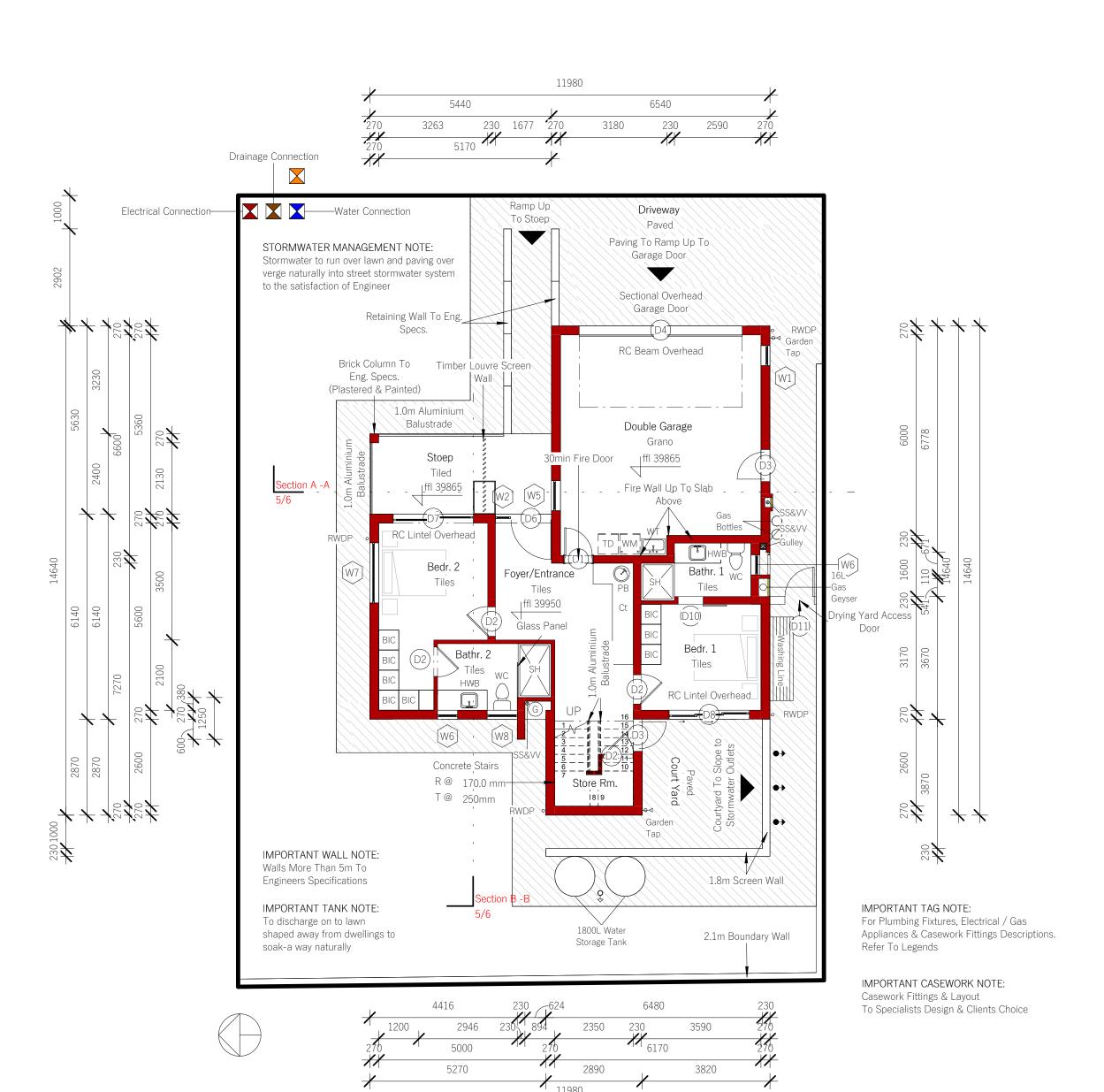
Compact Soil Stone Cladding OVDB Rock MCB Screed OVD Concrete Paving OVS Brick CTOG Aluminium Insulation (In Sheets) Insulation (Loose) Fibre Board Timber Cladding Glazing

Existing Earth

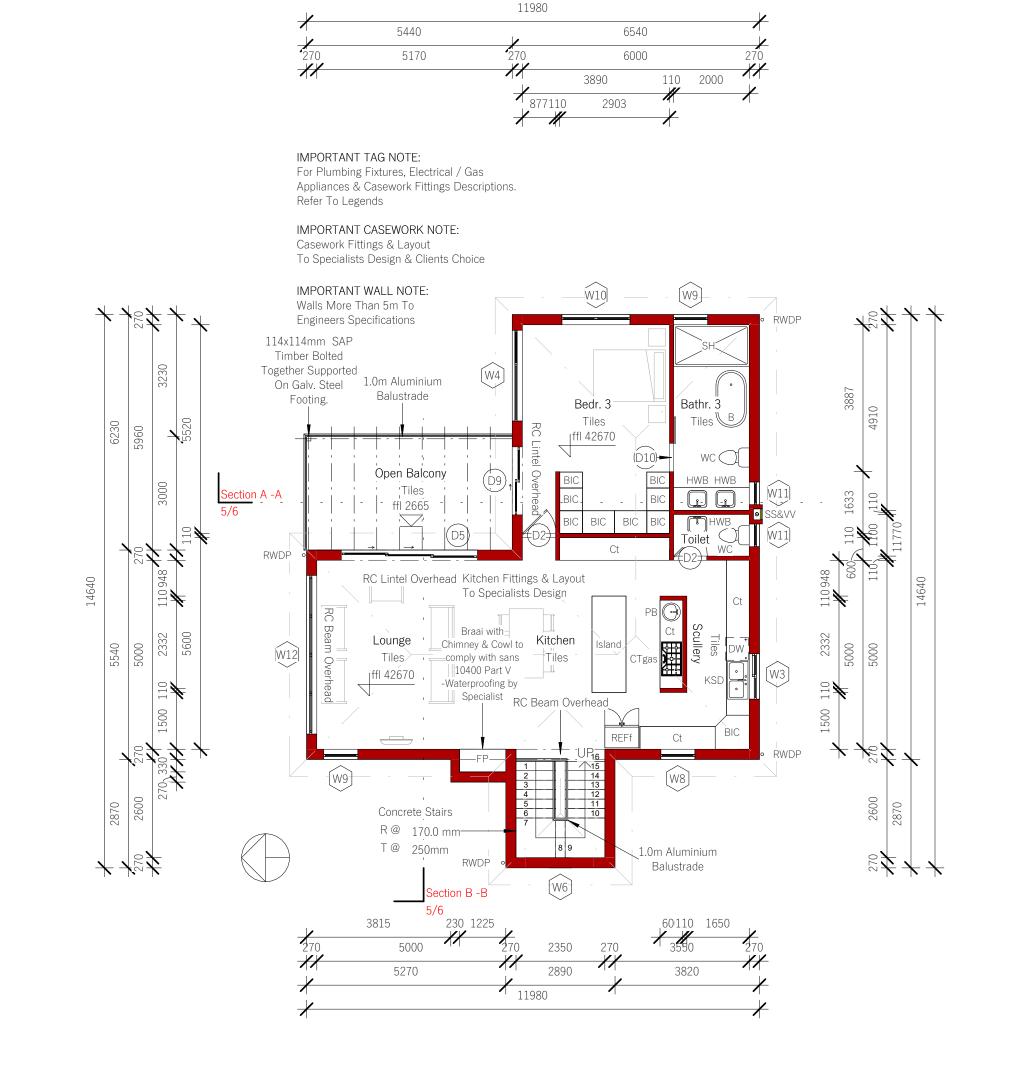
Earth / Filling

Plumbing Legend 1:100

Electrical Appliances Legend 1:100







01 -First Storey 1:100

KOUGA MUNICIPAL STAMP

Homestead Views

Home Owners Association & Aesthetics Committee

CONDITIONALLY APPROVED

21/07/2023

HBezdumunt

HSV HOA HSV HOA Subject to Local Municipal Authority

Approval

All work to be done and all materials to be used have to comply with SANS10400 regulations

Part A - General Principles

Part B - Structural Design Part C - Dimensions

Part D - Public Safety Part E - Demolition work

Part F - Site Operations

Part G - Excavations Part H - Foundations

Part J - Floors Part K - Walls

Part L - Roofs Part M - Stairs

Part N - Glazing Part O - Lighting Ventilation

Part P - Drainage Part Q - Non Water Borne Sanitation

Part R - Storm Water

Part S - Disabled Part T - Fire Protection

Part U - Refuse Disposal

Part V - Space Heating Part W - Fire Installations Part X - Energy

Energy Efficiency Supplement Documents as per SANS10400 forms part of this set of drawings and specification should be read in conjunction with

this documentation's.

adhered to. Contractors and Sub-contractors are to check all dimensions

and levels on building site before commencing with any work. Figured dimensions to be taken in preference to scaled measurements and

large scale details supersedes small scale drawings. The design of this drawing is the property of Hennie Bezuidenhout and

copyright is reserved by him.

Lighting & Energy Usage:

all fluorescent light fittings to be SABS approved 11W LED all other light fittings to min. SABS approved 5W LED with 50W output.

all timber work to comply with SABS standards 082; 0137; 0400 all timber to be treated to SABS specs 1228 of 1994

Space Heating provision of space heating to comply with SANS10400 part V - where applicable

The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him.

SHEET DESCRIPTION Floor Plans, Legends

Eastern Cape

South Africa

PROPERTY OWNER / AUTHORIZED AGENT | CLIENTS APPROVAL SIGNATURE The Lifestyle Village (Pty) Ltd

PROJECT ADDRESS

Unit 36 Homestead Drive ERF/HOLDING/PORTION Sea Vista ERF 3900 St Francis

> PLAN NUMBER DATE

> > SCALE As indicated

NATURE OF PROJECT Proposed New Dwelling 21/07/2023

DRAWN DESIGNED CHECKED BY H.B H.B

ennie W rezuidenhout

Project Management Services S.A.C.A.P.S.A Reg. no ST 1414 UNIT NO.1 - VASCO BUILDING 111 DA GAMA ROAD Date: 21/07/2023

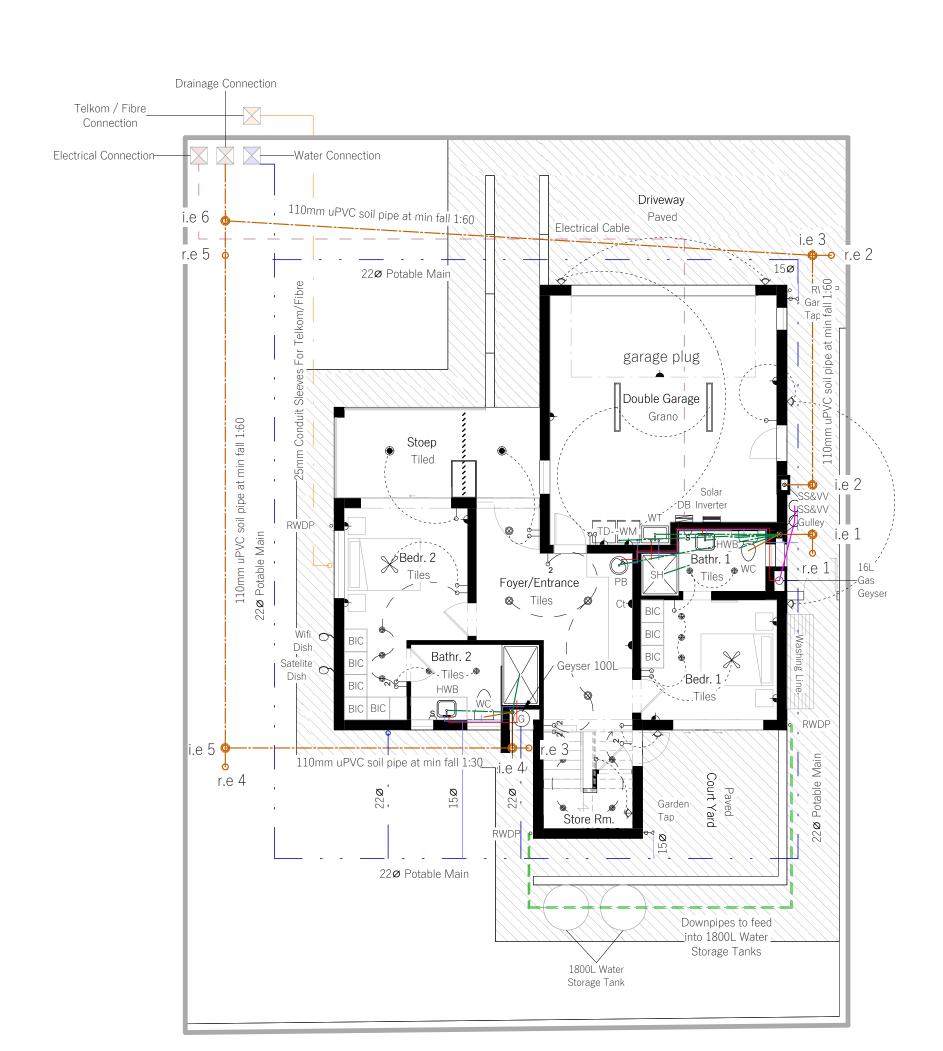
Jeffrey's Bay cell: 082 553 61583 Signature: HBezduuuuut email: henniearch3@hotmail.com



HENNIE HENNIE BEZUIDENHOUT 11:56 AM (Africa/Johannesburg) on 03 Mar 2023

Stalker Hutchison Admiral (Pty) Ltd Policy No. 7000/146176 SHA

01 -First Storey Plumbing & Electrical Plan 1:100





Average daily water consumption (hot and cold) appliances					
Domestic & Commercial appliances	L/operation	No of Fittings	Total/L/operation	Т	
Bath Clothes Washing machine Dishwashing machine	80-90 60-180 3-70	2 1 1	180 150 60	S	
Shower Wash-hand basin	3-70 3-6a 4-8	3 7	19 56	(1	
WC flushing valve	8-10	4	40 505	<u> </u>	
Domestic Appliances	L/day	Person Served	Total/L/day/person served	A	
Car washing and garden use Drinking, food prep & cooking Laundry Personal washing & bathing Washing dishes WC flushing	3-6 18-22 10-15 20-30 8-12 32-40	6 6 6 6	36 120 90 180 72 240 738L	W C	
		Total	1243L		

Hot water demand, storage and heater power requirements							
1.	2.	3.	4.				
Premises	Total hot water demand	Storage volume at 60° C	Heater power <sup>a</sup>				
Dwelling	(115-140) L/capita/d	(40-50) L/capita	2-5 kW/unit				
Medium to High Rental	L/Capita/u						

GAS Installation diagram as per SANS 10087 -

Installation by Specialist

Gas Installation Legend 1:100

May be reduced to 300mm provided that a non

combustible roof is installed between the containers and

Hot water demand, storage and heater power requirements Total hot water demand | 690L Storage volume at 60° C 300L - required 100L - SUPPLIED & 16L Gas Geyser (1 x 5000L Water Storage on site) WATER SUPPLY & RETICULATION NOTES: ALL EXPOSED HOT WATER PIPES WITH < 80mmø TO HAVE LAGGING WITH A MIN. R-VALUE = 1 WATER SUPPLY TO BE AVAILABLE BY LOCAL

	3.	4.
ıd	Storage volume at 60° C	Heater power <sup>a</sup>
	(40-50) L/capita	2-5 kW/unit
	•	

Electrical source of ignition,

switchbox, distribution board,

Minimum R-Value of pipe insulation				
1	2			
Internal diameter of pipe mm	Minimum R-value*			
≤80	1,00			
>80	1,50			

Minimum R-Value of pipe insulation					
1 2					
Internal diameter of pipe Minimum R-value*					
≤80	1,00				
>80 1,50					
* Determined with a hot surface temperature of 60° and an ambient temperature of 15° C.					

R- Value o	of pipe	insulaton
1:50		

Symbol	Description	Tag	Symbol	Description	Tag	Vent Hood Wall Mounted	VHW
0	Rainwater Downpipe	RWDP		Dish Washer	DW	Oven Single Built In	OVSB
<b>©</b>	Gulley	Gu	F -	Washing Machine	WM	Oven Double Built In	OVDB
9	Stubstack	SS		Tumble Dryer	TD	Microwave Built In	MCB
0	Vent Pipe	VP		Refrigerator	REFs	Oven Double	OVD
0	Inspection Eye	I.E		Refrigerator	DEE	Oven Single	OVS
0	Rodding Eye	R.E		French Door	REFf	Cook Top & Oven (Gas)	CTOG
$\odot$	Manhole	MH		Freezer ( Upright )	uFRE	Cook Top & Oven (Electric)	СТОЕ
0	Grease Trap	GT		Freezer ( Chest )	cFRE	Undercounter Beverage Fridge	UB
ô	Discharge Arrow	DC		Cook Top (Gas)	CTgas	Undercounter	UR
Drainage Legend 1:100		© @ @ @ _ O	Cook Top ( Electric )	CTele	Refrigerator		
			Vent Hood Ceiling Mounted	VHC	Undercounter Wine Storage	UWS	

# Electrical Appliances Legend 1:100

Symbol	Description	Tag			TV Point	TVP
	Light Switch	LS1		IP _	IP Point	IPP
2	Light Switch 2 Way	LS2			300h Double Plug	3PS
3	Light Switch 3 Way	LS3			1100h Double Plug	1PS
	Dimmer Switch	DS			Waterproof Plug	WTP
T	Timer Switch	TS		9	Satelite Dish	SD
	Meter Box	MB		•	Wifi Connection	WIC
	Distribution Box	DB			Stove Point	SP
	Sub. Distribution Box	SDB			Inverter	INV
	Control Panel	СО		s	Shaver Plug Point	SHP
$\bigcirc$	Hot Water Geyser	G		Therm.	Thermostat	TS
			•		Solar Panel	SP

Electrical	Fixture	Legend
1:100		_

Symbol	Description	Tag			
<b>⊗</b>	Gulley	Gu			
ø	• Stubstack				
•	Vent Pipe	VP			
<b>—</b>	Garden Tap	GT			
GB	Gas Bottle	GB			
-1°	Kitchen Sink Single	KSS			
· ·	Prep Bowl	PB			
	Kitchen Sink Double	KSD			
o po	Washing Trough	WT			
	Kitchen Sink Triple	KST			
(†)	Hand Wash Basin Round	HWB			

Plumbing Legend	
1:100	

Plumbing Fixture Schedule	Lighting Fixture Schedule	Electrical Fixture Schedule
Туре	Family	Family
Garden Tap	Ceiling Fan	300h Double Plug Switch
)	3	17
Gas Bottle	Ceiling Light	1100h Double Plug Switch
)	10	11
Kitchen Sink Double	Downlight	DB
l	28	1
Trough	Exterior Ceiling Light	Light Switch
l	2	21
Prep Bowl	Exterior Wall Light	Light Switch 2 Way
2	6	15
Hand Wash Basin	Interior Wall Light	M_Solar Panel
)	2	1
Toilet	LED Ceiling Light	Satellite Dish
1	2	1
ree Standing Bath	Pendant Light	Shaving Point
l	3	3
<varies></varies>		Solar Inverter
2		1
Shower		Stove Point
3		1
		Sub DB
		1
		TV Point
		1
		TV Point1

Symbol	Description	Tag
×	Ceiling & Downlight Fan	CLF
<del>-</del>	Pendent	PL
•	Downlight	DL
<b>⊗</b>	Ceiling Light	CL
	Garden Light	GL
C	Floor Light	FL
	Exterior Wall Light	EWL
	LED Ceiling Light	LED
<u></u>	Interior Wall Light	IWL
	Pool Light	PL
<u></u>	Garden Light	GL
•	Exterior Ceiling Light	ECL
<b>~~~~~</b>	Random LED Starlight / Strip lighting	STL
<b>*</b>	Flood Light	FL

# Lighting Legend 1:100

	Hand Wash Basin Square	HWB
	Wall Mounted Toilet	WMT
8	Basic Toilet	WC
	Urinal	UR
•	Pool Pump	PP
·	Free Standing Bath	В
0	Built In Bath	В
	Shower	SH
	Water Storage Tank	WST

KOUGA MUNICIPAL STAMP

Homestead Views Home Owners Association & Aesthetics Committee

CONDITIONALLY APPROVED

HSV HOA

HBezdumunt HSV HOA

Subject to Local Municipal Authority Approval

### All work to be done and all materials to be used have to comply with SANS10400 regulations

Part A - General Principles Part B - Structural Design Part C - Dimensions Part D - Public Safety

Part E - Demolition work Part F - Site Operations Part G - Excavations

Part H - Foundations Part J - Floors Part K - Walls Part L - Roofs Part M - Stairs

Part N - Glazing Part O - Lighting Ventilation Part P - Drainage

Part Q - Non Water Borne Sanitation Part R - Storm Water Part S - Disabled

Part T - Fire Protection Part U - Refuse Disposal Part V - Space Heating Part W - Fire Installations

Part X - Energy

Energy Efficiency Supplement Documents as per SANS10400 forms part of this set of drawings and specification should be read in conjunction with this documentation's.

adhered to. Contractors and Sub-contractors are to check all dimensions and levels on building site before commencing with any work. Figured dimensions to be taken in preference to scaled measurements and

large scale details supersedes small scale drawings. The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him.

Lighting & Energy Usage: all fluorescent light fittings to be SABS approved 11W LED

all other light fittings to min. SABS approved 5W LED with 50W output.

all timber work to comply with SABS standards 082; 0137; 0400 all timber to be treated to SABS specs 1228 of 1994

provision of space heating to comply with SANS10400 part V - where applicable

The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him.

### SHEET DESCRIPTION Plumbing & Electrical Plans, Legends, Water Consumption & Energy Requirements

PROPERTY OWNER / AUTHORIZED AGENT | CLIENTS APPROVAL SIGNATURE The Lifestyle Village (Pty) Ltd PROJECT ADDRESS Unit 36 Homestead Drive ERF/HOLDING/PORTION Sea Vista ERF 3900 St Francis Eastern Cape PLAN NUMBER South Africa DATE NATURE OF PROJECT 21/07/2023 Proposed New Dwelling

DRAWN DESIGNED CHECKED BY H.B H.B ennie

UNIT NO.1 - VASCO BUILDING 111 DA GAMA ROAD Jeffrey's Bay cell: 082 553 61583

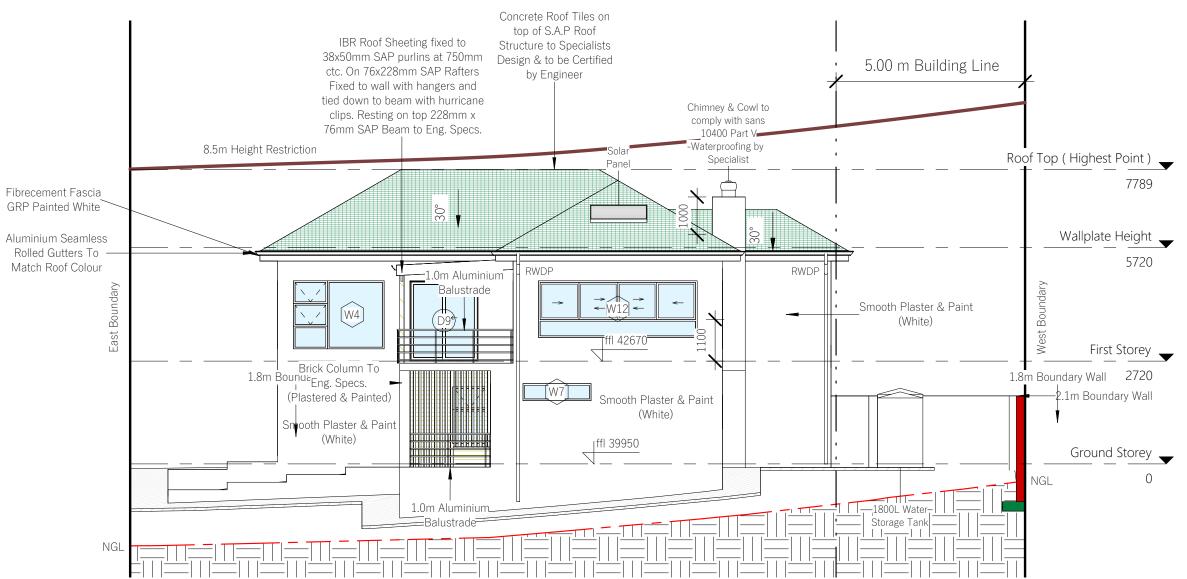
Project Management Services S.A.C.A.P.S.A Reg. no ST 1414 Date: 21/07/2023 Signature: HBezduuuuut

PROFESSIONAL SENIOR ARCHITECTURAL

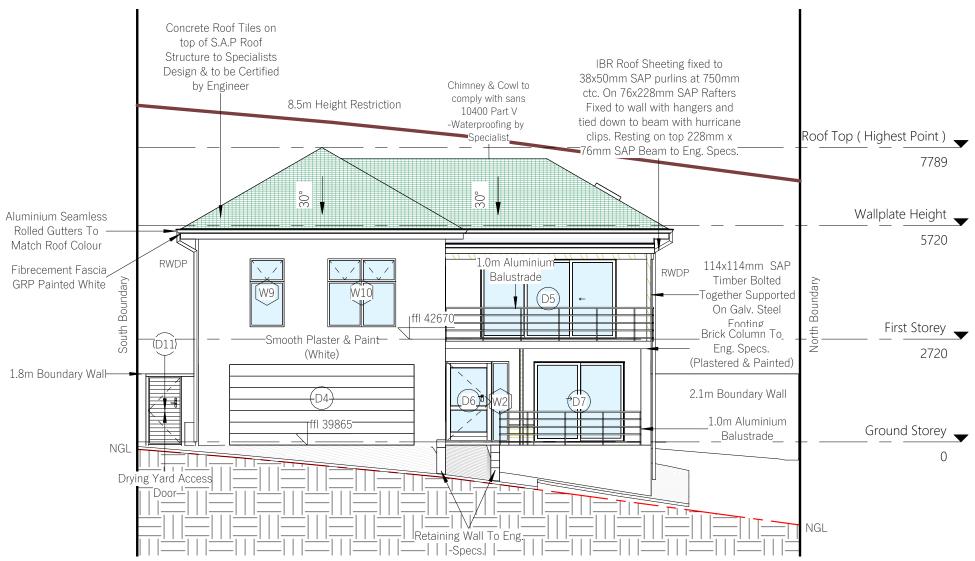
HENNIE HENNIE BEZUIDENHOUT 11:56 AM (Africa/Johannesburg) on 03 Mar 2023

Stalker Hutchison Admiral (Pty) Ltd Policy No. 7000/146176 SHA

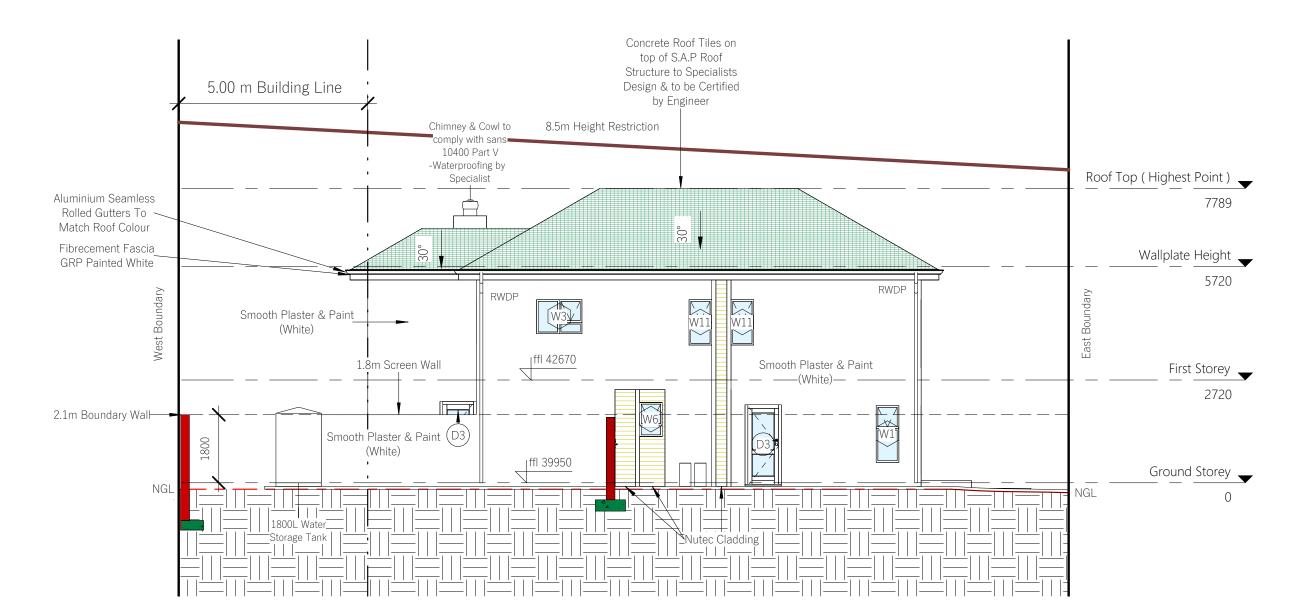
email: henniearch3@hotmail.com



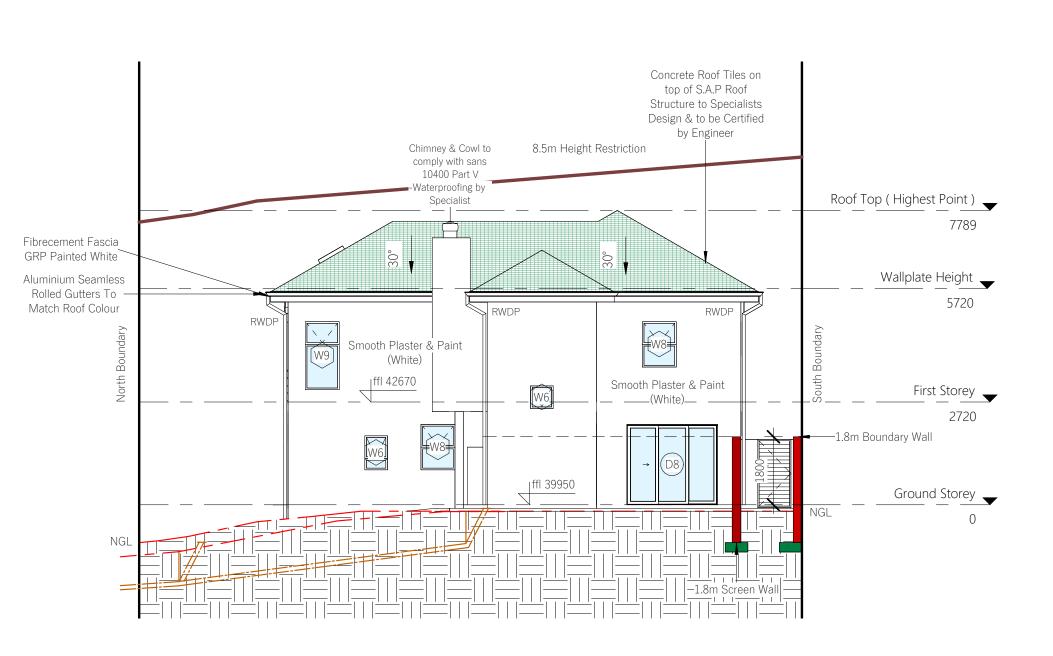
North Elevation 1:100



East Elevation 1:100



South Elevation 1:100



West Elevation 1:100

KOUGA MUNICIPAL STAMP

HSV HOA

<u>Homestead Views</u>

Home Owners Association & Aesthetics Committee

CONDITIONALLY APPROVED

21/07/2023

HBezdumunt HSV HOA

Subject to Local Municipal Authority Approval

All work to be done and all materials to be used have to comply with SANS10400 regulations

Part A - General Principles

Part B - Structural Design Part C - Dimensions

Part D - Public Safety Part E - Demolition work

Part F - Site Operations Part G - Excavations

Part H - Foundations Part J - Floors

Part K - Walls

Part L - Roofs Part M - Stairs

Part N - Glazing

Part O - Lighting Ventilation Part P - Drainage

Part Q - Non Water Borne Sanitation Part R - Storm Water

Part S - Disabled Part T - Fire Protection

Part U - Refuse Disposal

Part V - Space Heating Part W - Fire Installations

Part X - Energy

Energy Efficiency Supplement Documents as per SANS10400 forms part of this set of drawings and specification should be read in conjunction with this documentation's.

adhered to. Contractors and Sub-contractors are to check all dimensions

and levels on building site before commencing with any work. Figured dimensions to be taken in preference to scaled measurements and

large scale details supersedes small scale drawings. The design of this drawing is the property of Hennie Bezuidenhout and

copyright is reserved by him.

Lighting & Energy Usage:

all fluorescent light fittings to be SABS approved 11W LED all other light fittings to min. SABS approved 5W LED with 50W output.

all timber work to comply with SABS standards 082; 0137; 0400 all timber to be treated to SABS specs 1228 of 1994

provision of space heating to comply with SANS10400 part V - where applicable

The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him.

SHEET DESCRIPTION Elevations, Garage Door Building Requirements, Roof Anchorage Details

PROPERTY OWNER / AUTHORIZED AGENT | CLIENTS APPROVAL SIGNATURE The Lifestyle Village (Pty) Ltd

PROJECT ADDRESS

Unit 36 Homestead Drive ERF/HOLDING/PORTION

Sea Vista ERF 3900 St Francis Eastern Cape PLAN NUMBER

South Africa

DATE NATURE OF PROJECT

Proposed New Dwelling 21/07/2023

DRAWN DESIGNED J.H H.B SCALE As indicated

ennie

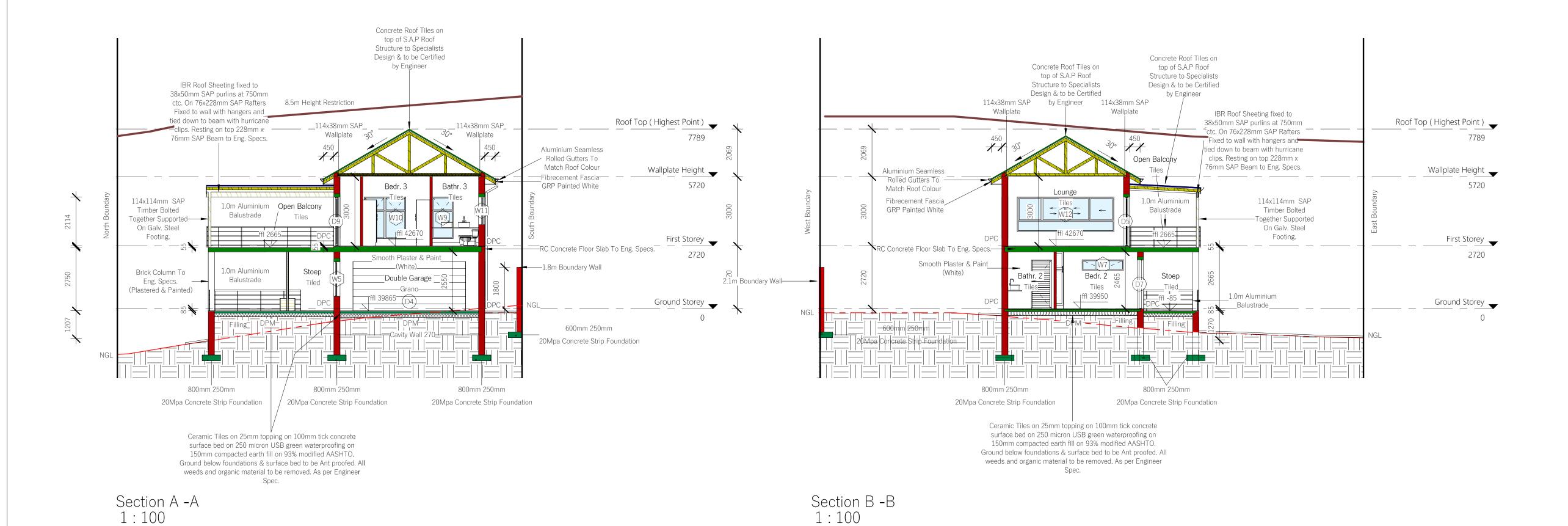
IU rezuidenhout Project Management Services

S.A.C.A.P.S.A Reg. no ST 1414 UNIT NO.1 - VASCO BUILDING 111 DA GAMA ROAD Jeffrey's Bay cell: 082 553 61583

Date: 21/07/2023 Signature: HBezduuuut email: henniearch3@hotmail.com



Stalker Hutchison Admiral (Pty) Ltd Policy No. 7000/146176 SHA



Number	W1	Number	W2	Number	W3	Number	W4	Number	W5	Number	W6
Dimensions	1500h x 600w	Dimensions	1500h x 447w	Dimensions	900h x 1200w	Dimensions	1800h x 2400w	Dimensions	1500h x 900w	Dimensions	900h x 600w
Elevation		Elevation	D62	Elevation		Elevation		Elevation		Elevation	
Туре	Top Hung	Туре	Side Light -Fixed Pane	Туре	Top Hung	Туре	Top Hung	Туре	Top Hung	Туре	Top Hung
Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated
Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt
Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice
Glazing	Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Obscure -Safety
Number	W7	Number	W8	Number	W9	Number	W10	Number	W11	Number	W12
Dimensions	450h x 1800w	Dimensions	1200h x 900w	Dimensions	1800h x 900w	Dimensions	1800h x 1800w	Dimensions	1200h x 600w	Dimensions	1500h x 4200w
Elevation		Elevation		Elevation		Elevation		Elevation		Elevation	0011
Туре	Fixed Pane	Туре	Top Hung	Туре	Top Hung	Туре	Top Hung	Туре	Top Hung	Туре	Sliding Window
Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated
Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt
Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice
Glazing		Glazing	Obscure/Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Obscure -Safety	Glazing	Single Clear -Safety
Number	D1	Number	D2	Number	D3	Number	D4	Number	D5	Number	D6
Dimensions	2101h x 897w	Dimensions	2096h x 891w	Dimensions	2096h x 891w	Dimensions	2130h x 4880w	Dimensions	2125h x 3600w	Dimensions	2125h x 1230w
Elevation		Elevation		Elevation		Elevation		Elevation	-	Elevation	W2
Туре	30min Class E Fire Door Leaf	Туре	MDF Horizontal	Туре	SD20	Туре	Sectional Overhead Garage Door	Туре	Sliding Door	Туре	Front Door
Frame Material	Refer To Swartland Codes	Frame Material	Refer To Swartland Codes	Frame Material	Refer To Swartland Codes	Frame Material	Steel Galvanized	Frame Material	Powdercoated Aluminuim	Frame Material	Aluminium Powdcoated
Colour	White	Colour	White	Colour	To Owners Choice	Colour	Matt Charcoal	Colour	Matt Charcoal	Colour	Matt Charcoal
Ironmongery	To Owners Choice	Ironmongery	To Owners Choice	Ironmongery	To Owners Choice	Ironmongery	To Owners Choice	Ironmongery	To Owners Choice	Ironmongery	To Owners Choice
Panel	Refer To Swartland Codes	Panel	Refer To Swartland Codes	Glazing	Single Low E -Safety Glass	Panel	Powdercoated Aluminuim	Glazing	Single Low E -Safety Glass	Glazing	Single Low E -Safety Glass
Number	D7	Number	D8	Number	D9	Number	D10	Number	D11		
Dimensions	2125h x 2400w	Dimensions	2125h x 2400w	Dimensions	2125h x 1800w	Dimensions	2096h x 750w	Dimensions	1800h x 900w		
Elevation	-	Elevation		Elevation		Elevation		Elevation			
Туре	Sliding Door	Туре	Sliding Door	Туре	Sliding Door	Туре	Single Slider	Туре	Drying Yard Access Door		
Frame Material	Powdercoated Aluminuim	Frame Material	Powdercoated Aluminuim	Frame Material	Powdercoated Aluminuim	Frame Material	Refer To Swartland Codes	Frame Material	Galv. Steel		
Colour	Matt Charcoal	Colour	Matt Charcoal	Colour	Matt Charcoal	Colour	White	Colour	White		
										I	

To Owners Choice

Panel Refer To Swartland Codes

To Owners Choice

Handiplank Cladding

Panel

To Owners Choice

Glazing Single Low E -Safety Glass

Windov	v Quantities	Door Quantities			
Type Mark	From Room: Name	Type Mark	From Room: Name		
W1	Double Garage	D1	Foyer/Entrance		
1		1			
W2	Stoep	D2	Foyer/Entrance		
1		D2	Foyer/Entrance		
W3	Scullery	D2	Bedr. 2		
1		D2	Kitchen		
W4	Bedr. 3	D2	Toilet		
1		D2	Bathr. 2		
W5	Stoep	6			
1		D3	Double Garage		
W6	Bathr. 1	D3	Court Yard		
W6	Store Rm.	2			
W6	Bathr. 2	D4	Double Garage		
3		1			
W7	Bedr. 2	D5	Open Balcony		
1		1			
W8	Bathr. 2	D6	Stoep		
W8	Kitchen	1	1		
2		D7	Stoep		
W9	Bathr. 3	1			
W9	Lounge	D8	Court Yard		
2		1	'		
W10	Bedr. 3	D9	Bedr. 3		
1		1			
W11	Bathr. 3	D10	Bathr. 1		
W11	Toilet	D10	Bedr. 3		
2		2			
W12	Lounge	D11			

KOUGA MUNICIPAL STAMP Homestead Views Home Owners Association & Aesthetics Committee CONDITIONALLY APPROVED 21/07/2023 HBezdumunt HSV HOA HSV HOA Subject to Local Municipal Authority Approval All work to be done and all materials to be used have to comply with SANS10400 regulations Part A - General Principles Part B - Structural Design Part C - Dimensions Part D - Public Safety Part E - Demolition work Part F - Site Operations Part G - Excavations Part H - Foundations Part J - Floors Part K - Walls Part L - Roofs Part M - Stairs Part N - Glazing Part O - Lighting Ventilation Part P - Drainage Part Q - Non Water Borne Sanitation Part R - Storm Water Part S - Disabled Part T - Fire Protection Part U - Refuse Disposal Part V - Space Heating Part W - Fire Installations Part X - Energy Energy Efficiency Supplement Documents as per SANS10400 forms part of this set of drawings and specification should be read in conjunction with this documentation's. adhered to. Contractors and Sub-contractors are to check all dimensions and levels on building site before commencing with any work. Figured dimensions to be taken in preference to scaled measurements and large scale details supersedes small scale drawings. The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him. Lighting & Energy Usage: all fluorescent light fittings to be SABS approved 11W LED all other light fittings to min. SABS approved 5W LED with 50W output. all timber work to comply with SABS standards 082; 0137; 0400 all timber to be treated to SABS specs 1228 of 1994 Space Heating provision of space heating to comply with SANS10400 part V - where applicable The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him. SHEET DESCRIPTION Sections, Door & Window Legend PROPERTY OWNER / AUTHORIZED AGENT | CLIENTS APPROVAL SIGNATURE The Lifestyle Village (Pty) Ltd PROJECT ADDRESS Unit 36 Homestead Drive ERF/HOLDING/PORTION Sea Vista ERF 3900 St Francis Eastern Cape PLAN NUMBER South Africa ??? DATE NATURE OF PROJECT Proposed New Dwelling 21/07/2023 DRAWN DESIGNED CHECKED BY J.H H.B H.B SCALE As indicated l ennie N <sub>1</sub> ezuidenhout Architectural Project Management Services S.A.C.A.P.S.A Reg. no ST 1414 UNIT NO.1 - VASCO BUILDING 111 DA GAMA ROAD Date: 21/07/2023 Jeffrey's Bay cell: 082 553 61583 Signature: HBezduuuuut email: henniearch3@hotmail.com PROFESSIONAL SENIOR ARCHITECTURAL HENNIE HENNIE BEZUIDENHOUT 11:56 AM (Africa/Johannesburg) on 03 Mar 2023 rofessional Indemnity Insurance: Stalker Hutchison Admiral (Pty) Ltd Policy No. 7000/146176 SHA

Door & Window Legend 1:200

Glazing Single Low E -Safety Glass

To Owners Choice

To Owners Choice

Glazing Single Low E -Safety Glass

### Building Works

All building work components and site operations to comply with the applicable national building regulations, SABS standards and SANS10400, SANS204, SANS10251, SANS10252 and any other manatory standards, regulations and code of conduct.

### <u>Structure</u>

All applicable structural elements and components to be designed and certified by structural engineer, to comply with the requirements of the national building regulations SANS10400 parts H,J,K,L,M,N.

### <u>Dimensions</u>

All humanly habitable rooms shall have a minimum floor area of 6m sqm with a min. horizontal dimension of 2,0m and height, floor to ceiling of 2,4m. All dimensions to comply with SANS10400 part C

### Public Safety

Changes in level, design of ramps and driveways, access to swimming pools to comply with SANS10400 part D

### **Demolition Work**

Demolition of existing structures to comply with SANS10400 part E

### Site Operations

All site operations, including protection of public, shall be executed to comply with SANS10400 part F. Approved sanitary facilities for all site personnel to be available prior to commencement of site work, and shall be available throughout the duration of the building operations.

### **Excavations**

All excavations to comply with SANS10400 part G

### **Foundations**

The minimum width to any continuous strip foundations shall be 600mm 330mm walls: 1250x450mm concrete strip foundation 270mm walls: 850x300mm concrete strip foundation 230mm walls: 750x300mm concrete strip foundation

110mm walls: 600x300mm concrete strip foundation All foundations to be checked and approved by structural engineer. All foundations to comply with SANS10400 parts B, H.

### <u>Floors</u>

All floor to comply with SANS10400 part J

All waterproofing membrane to be turned up around the perimeter of the floor slab by at least the thickness of the floor, and to be provided with an minimum overlap of 200mm at joints.

Penetration of the waterproofing membran by water, sewer or services pipes to be taped with approved pressure sensitive tape to manufacturers specs. All filling to be moistened prior to compaction but must not show signs of soaking. Sub soil compactions may not exceed 100mm thick with hand compactions and 150mm thick with mechanical compactions. Appointed engineer to design and inspect filling deeper than 400mm.

Floors in laundries, kitchen, shower, bathrooms or rooms containing a WC, urinal to be water resistant. Compacted filling more than 300mm thick to approved by Engineer

### <u>Lighting and Ventilation</u>

Lighting and ventilation in all humanly habitable rooms, bathrooms, showers and rooms containing WC's to comply with SANS10400 parts O & T

# <u>Stormwater</u>

Demolition of existing structures to comply with SANS10400 part \$10400 part R

# <u>Electrical</u>

All work to be executed by contractors registered with the ELECTRICAL CONTRACTING BOARD OF SA

# Retaining Walls

All walls retaining greater than 1000mm to be designed by appointed structural

# Drainage & Plumbing

Only SABS approved sanitary fittings and materials to be used and must comply

with SANS10400 part P 100mm%%c discharge stacks & vent pipes

160mm%%c discharge soil pipes 50mm%%c soil discharge pipes to showers and urinal

40mm%%c waste discharge pipes to hwb's baths & sinks

gullies to comply with P29 All waste fittings to have re-sealing traps and water seals not less than 65mm. Access to drainage systems to be provided with adequately marked and protected and permanently accessable rodding eyes at all changes in directions, with 1500mm of the municipal drainage connection, at the highest point of the drainage

system and at max. 25m intervals Inspection eyes at all bends and junctions. No bends, junctions within or underneath walls, surface beds, concrete slabs. - all drainage underneath buildings to have concrete encasements as approved by

engineer. All water pipes to be class 2 copper All exposed hot water supply pipes to be lagged in appropriate SABS approved thermal insulation with minimum R-value of 1.0

# Windows & Doors

All windows SABS approved powder coated Aluminium framed top-hung

open out with clear single glazing. - see window schedule. All Sliding doors SABS approved powder coated Aluminium framed with appropriate SABS approved laminated SOLARVEU single glazing, comparable with low "E"

All fenestration and glazing to comply with SANS10400 parts B; N; XA and SANS 204. ALL OPENINGS LARGER THAN 3,0m TO BE TO ENGINEERS DESIGN

# Roof & Ceilings

(min. R-value 3.72)(sqm.K/W) Fair Black Concrete Shingle Rooftiles (R-value= 0, )

All roof timber to be GRADE 5 SA Pine. Entire roof, incl roof covering & waterproofing to comply to SANS10400 part L the fire resistance and combustibility of the roof assembly or any ceiling assembly to comply to SANS10400 parts L & T

Aluminium gutters and pvc downpipes to SANS10400 part T. Ceiling Thermal Insulation properties (3.72reg)-total R-value=3.76-comply Gypsum ceilingboards - (R-value = 0.06)

Outdoor Air Film; (R-value = 0.03) 50mm Iso-therm blanket between battens on top of ceiling (R-value = 1.25) SABS approved Envirotuff 203 dubble sided Radiant barrier thermal insulation

### Roof & Ceilings

(min. R-value 3.72)(sqm.K/W) Fair Black Concrete Shingle Rooftiles (R-value= 0, )

All roof timber to be GRADE 5 SA Pine. Entire roof, incl roof covering & waterproofing to comply to SANS10400 part L the fire resistance and combustibility of the roof assembly or any ceiling assembly to comply to SANS10400 parts L & T

Aluminium gutters and pvc downpipes to SANS10400 part T. Ceiling Thermal Insulation properties (3.72req)-total R-value=3.76-comply Gypsum ceilingboards - (R-value = 0.06)Outdoor Air Film; (R-value = 0.03)

50mm Isotherm blanket between battens on top of ceiling (R-value = 1.25) SABS approved Envirotuff 203 dubble sided Radiant barrier thermal insulation with 0.2 outer emissivity and 0.05 inner emissivity (r-value = 2.42) strictly to manufacturers specs on top of ceiling boards between purlins. All to comply with SANS10400 part XA and SANS 204

Concrete Roof Slab Insulation:(R-value 3.72 req) - R-value 3.83 - comply 5mm torch-on Bitumen layer - R-value 0.01 Concrete Screen - R-value 0.09 Concrete slab - R-value 0.12 Radiant Barrier thermal barrier - R-value 1.89

40mm Isoboard ceiling insulation fixed to slab - R-value 1.66

Rhinoboard ceilingboard - R-value 0.06

# Pitched Roof

BLACK Shingle Concrete Rooftiles fixed 38x38mm SAP battens @ 345mm max. centres fixed to 38 x50mm SAP battens fixed in line on top of engineers design roof trusses @ 700mm centres tied down to brickwork with 8 gauge double twisted galv roof wires, min of 5 courses down. Trusses supported on 114 x 38mm SAP wallplates. Install 50mm Isotherm (R-value = 1.25) on top of ceiling boards between 38x50battens, then install 1 layer of Envirotuff 203 Double Sides Radientshield (R-value=2.42) between

ALL TIMBER TO BE min. GRADE 5 Alunimiun Flashing & counterflashing to roof & Seal-o-flex flashing to parapet walls. "Everite" Nutec-cement fascia fixed to truss sprockets. 100 x 75mm square type Seamless Aluminium gutters and matching

# <u>Ceiling</u>

6,4mm T&G Fibrecement ceilingboards directly on top of

16mm Fire-stop ceilings screw fixed to u/s of floor joist with

38x38mm SAP battens @ 300mm centres Coved Rhino cornices.

All exposed roof timber to be painted - white.

Clay brick construction, smooth plastered and painted, supported by reinforced All staircases to be in accordance with the design and details to comply with

All cavity walls to be fitted with 350micron stepped pvc, dpc's in cavities above floor, beams and windows. All jointing to be sealed watertight by means of approved and accepted methods and principals for jointing. Concrete lintols above all openings.

External walls to have 6/sqm butterfly ties to door height and brickforce every course to wallplate height all round. Plaster Bands around windows & doors = 125mm wide

Interior and Exterior sills to receive plaster & paint.

Screed and finish to owners choice on reinforced concrete structure -by Engineer. 150mm Hardwood skirtings allround -Painted 100mm 20MPa concrete floor slab on 250u Gunplas USB, on 25mm sand bed on 150mm max. ground fill layers, compacted to 90% A.A.S.H.T.O. Soil to free from organic materials.

# <u>Floors</u>

Concrete Foundations are to be stictly in accordance with Engineers design and

# filling to floor level.

Door & Windows Black Aluminium windows & External doors, Sliding, Sliding Stacking doors & Internal doors and frames to be "Swartland"

appearance

Hardwood to receive paint finish. Windows and External Door to receive DPC all round, and secureley built into brickwork. All openings larger than 3,0m to be to engineers design

# <u>Drainage</u>

All stacks to be ventilated. All drainage pipes to be laid to a min. 1:60 fall where applicable. All drainage work to be done in accordance with SABS 0400, and the requirements and specifications of the local authority. All plumbing work to be carried out by a licensed and council registered plumber. All AS per Developer/Client agreement - PC amount allowance duct access panels to be fitted airtight. All stacks & vents to be open to external natural air.

### Finishes Note

BLACK SHINGLE Concrete Rooftiles on 38x50mm SAP battens fixed to rafter in line and 38x38mm battens @ 325mm centres on engineers designed Gangnail trusses and /or Rafters @ 30 degrees, with appropriate insulation Concrete Slab Roofs - by Engineers design - waterproofing by specialist with SABS approved materials.

Outside - Cladit on top of sprockets - painted White as per HOA Inside - 6.4mm T&G FC boards fixed to underside of trusses - painted - white

PVC downpipes and outlets.

# <u>Fascia</u>

Fibre Cement Fascia - Painted White

### <u>Bricks</u>

Clay Plaster Bricks - min 14Mpa with R-value < 0.35

SABS approved paint - colour White as per HOA approval.

External - Smooth plaster & paint - WHITE as per HOA Internal - Smoth plaster & paint - Colour as per client

# <u>Windows</u>

Aluminium - BLACK Top hung - 30.5mm profile frame Cills External - Brick on Edge, Plastered and Painted - Colour White as per HOA

Prefabricated Pre-stressed concrete lintels with max. overlay. All openings greater than 3,0m to Engineers design.

Internal - Semi solid Deep Mould - profile by client - Paint colour - by client Internal - Solid Class B Fire Door from Garage - Paint colour by client

### <u>Door Frames</u>

External - Aluminium - Black to match doors Internal - 50mm Heavy Duty Hardwood Frame "Swartland" or similar - paint by

Aluminium Sectional Overhead with remote control - Colour Black

100mm thick Pre-mix Concrete on min. 250u plastic Underlay - finish as Filling max 150mm thick layers, compaction more than 300mm to engineers

Concrete Strip footings as per Engineers design.

Plinth walls to receive brickforce wire reinforment every course, with concrete beam Links Palazzo Cobbles - colour as per HOA.

# <u>Stormwater</u>

<u>Burglar Alarms</u>

Sanitary Ware

As shown on Contour Plan & Setting Out Dimemsions - to discharge to the satisfaction of the HOA

# <u>Cupboards</u>

As per Developer/Client agreement - PC amount allowance

1x30m Fire Hose Reel installed by qualified approved contractor Plasterbrick with 15mm 1x4,5kg DCP Fire Hydrant Internal Cement Plaste & Paint By Client In -Situ concrete 14mpa NFX Claybrick-Surface Bed 85mm 20Mpa Concrete Floor Hardwood Skirting Board 150mm Max. Layer Ground Filling Well Compacted to 90% a.a.s.h.t.o Filling Thicker 30mm Polystyrene Than 300mm To Eng. Insulation - Under -Surface Bed R=/>1 Specs. All specifications to be certified / 650mm x 250mm specified by Engineer 20Mpa Concret Strip Foundation BY Bricks below ground level must be of a ENGINEER suitable quality Bricks filled with Concrete horizontal & vertical -300mm below - External bricks usually selected for face 

All specifications to be certified / specified by Engineer

- Bricks below ground level must be of a suitable quality
- Bricks filled with Concrete horizontal & vertical External bricks usually selected for face appearance

Typical Boundary Wall Non Encroaching Detail 1:25

Galv. Butterfly Cavity

Surface

Plasterbrick with 15mm

Internal Cement Plaster-

& Paint By Client

Hardwood Skirting

Board

-Surface Bed I

25mm Concrete Screed

Surface Bed 85mm

20Mpa Concrete Floor

Slab

150mm Max. Layer

Ground Filling Well

Compacted to 90%

Plasterbrick with 15mm

Internal Cement Plaster

& Paint By Client

14mpa NFX Claybrick—

25mm Concrete Screed-

In -Situ concrete

Surface Bed 85mm

20Mpa Concrete Floor

Slab

Specs.

a.a.s.h.t.o Filling Thicker 40mm Thick

Than 300mm To Eng. Polystyrene Perimeter

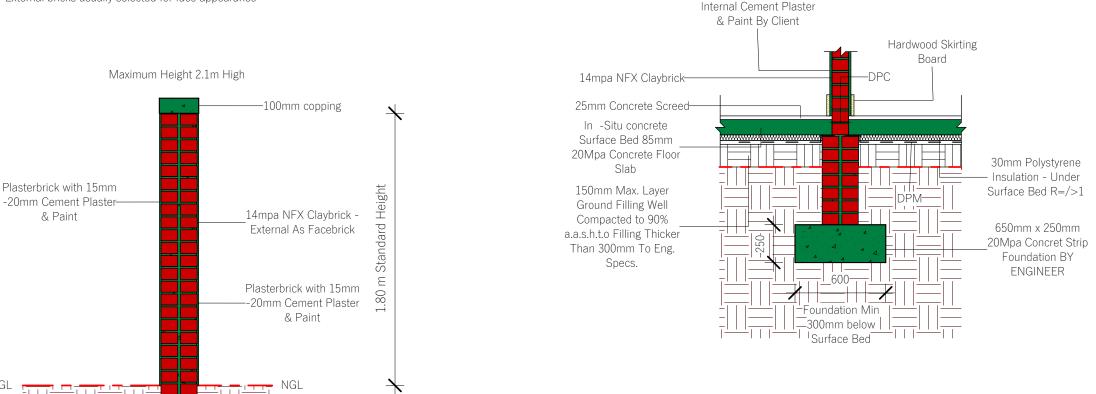
Insulation With Min. R -

Value = 1.06 x Y -10 Steel ReBar @

150mm ctc

Typical Cavity Wall Foundation Detail 1:25

Ties @ 5/sqm Wall —



25mm Polystyrene

=/>

Wheephole @ 1000mm

Plasterbrick with 15mm

--20mm Cement Plaster

& Paint

14mpa NFX Claybrick

External As Facebrick

800mm x 250mm

20Mpa Concrete Strip Foundation BY

ENGINEER

sulation R-Value 0.5

600mm x 250mm

20Mpa Concrete Strip

Foundation BY

ENGINEER

All specifications to be certified / specified by Engineer

Bricks below ground level must be of a suitable quality

Bricks filled with Concrete horizontal & vertical

External bricks usually selected for face appearance

# Typical Internal Single Wall Foundation Detail

 Bricks below ground level must be of a suitable quality Bricks filled with Concrete horizontal & vertical External bricks usually selected for face appearance

All specifications to be certified / specified by Engineer

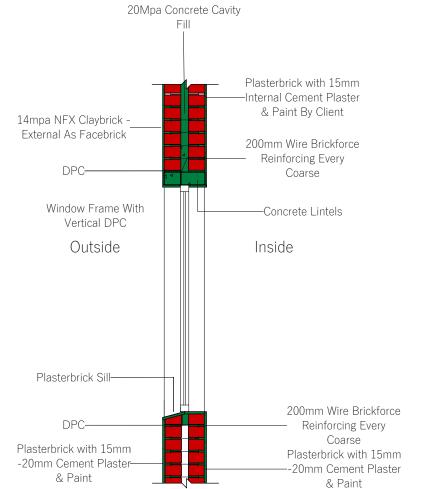
Bricks below ground level must be of a suitable quality

 Bricks filled with Concrete horizontal & vertical External bricks usually selected for face appearance

Plasterbrick with 15mm

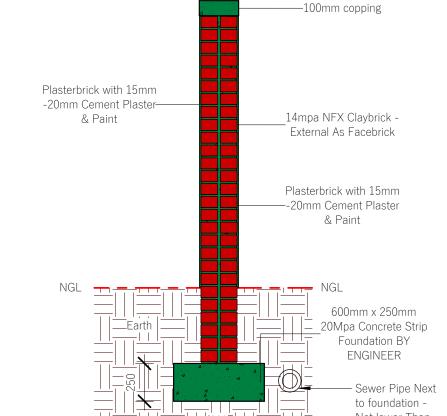
ALL OPENINGS LARGER THAN 3M TO BE TO ENGINEERS DESIGN AND SPECIFICATIONS

All specifications to be certified / specified by Engineer



# Typical Window / Opening Detail

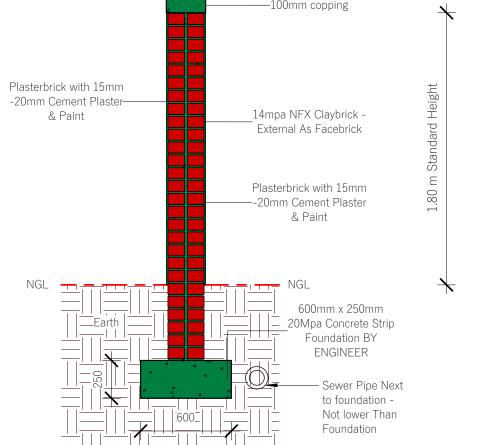
All specifications to be certified / specified by Engineer



Typical Screen Wall Detail

- Bricks below ground level must be of a suitable quality
- Bricks filled with Concrete horizontal & vertical External bricks usually selected for face appearance

Maximum Height 2.1m High



KOUGA MUNICIPAL STAMP

Homestead Views Home Owners Association & Aesthetics Committee

CONDITIONALLY APPROVED

21/07/2023 HBezdumunt

HSV HOA Subject to Local Municipal Authority Approval

All work to be done and all materials to be used have to comply with SANS10400 regulations

- Part A General Principles Part B - Structural Design Part C - Dimensions Part D - Public Safety Part E - Demolition work
- Part F Site Operations Part G - Excavations Part H - Foundations Part J - Floors

Part K - Walls

- Part L Roofs Part M - Stairs Part N - Glazing
- Part O Lighting Ventilation Part P - Drainage Part Q - Non Water Borne Sanitation
- Part R Storm Water Part S - Disabled Part T - Fire Protection

Part U - Refuse Disposal

Part V - Space Heating Part W - Fire Installations Part X - Energy Energy Efficiency Supplement Documents as per SANS10400 forms part of

this set of drawings and specification should be read in conjunction with this documentation's. adhered to. Contractors and Sub-contractors are to check all dimensions

and levels on building site before commencing with any work. Figured dimensions to be taken in preference to scaled measurements and large scale details supersedes small scale drawings. The design of this drawing is the property of Hennie Bezuidenhout and

copyright is reserved by him. Lighting & Energy Usage: all fluorescent light fittings to be SABS approved 11W LED

all other light fittings to min. SABS approved 5W LED with 50W output. all timber work to comply with SABS standards 082; 0137; 0400

all timber to be treated to SABS specs 1228 of 1994

provision of space heating to comply with SANS10400 part V - where applicable

The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him.

SHEET DESCRIPTION Specifications & Details

Proposed New Dwelling

Jeffrev's Bay

cell: 082 553 61583

Policy No. 7000/146176 SHA

PROPERTY OWNER / AUTHORIZED AGENT | CLIENTS APPROVAL SIGNATURE The Lifestyle Village (Pty) Ltd PROJECT ADDRESS Unit 36 Homestead Drive ERF/HOLDING/PORTION Sea Vista ERF 3900 St Francis Eastern Cape PLAN NUMBER South Africa DATE NATURE OF PROJECT

21/07/2023

Signature: HBezduuuut

H.B As indicated ennie Project Management Services S.A.C.A.P.S.A Reg. no ST 1414 UNIT NO.1 - VASCO BUILDING 111 DA GAMA ROAD Date: 21/07/2023

email: henniearch3@hotmail.com PROFESSIONAL SENIOR ARCHITECTURAL

Stalker Hutchison Admiral (Pty) Ltd

HENNIE HENNIE BEZUIDENHOUT 11:56 AM (Africa/Johannesburg) on 03 Mar 2023

Typical Internal Double Wall Foundation Detail

# Ceiling

### <u>Cornice</u>

Polystyrene - profile by client - painted white (where applicable)

# <u>Gutter</u>

Aluminium Seamless rolled - 100x125mm gutter to match roof colour & 75mm dia

<u>Walls</u>

### All Retaining Wall - by Engineers design

Cills Internal - Plastered and Painted - Colour as per client.

### <u>Lintels</u>

External - Aluminium Framed & Safety glass - Black & Sandblasted glass.

Door Garage

As per recommendation of HOA

<u>Drainage</u>

As per Layout - White PVC all exposed - hidden where possible Fire Protection

150mm Max. Layer Ground Filling Well -Concrete Slab Edge To-Compacted to 90% ·| | | -Eng. Specs.--| | | | ----| | | ----| a.a.s.h.t.o Filling Thicker Than 300mm To Eng.

Hardwood Skirting

30mm Polystyrene

Insulation - Under

Surface Bed R=/>1

—|||——|||-300mm ctc—|||——|||

All specifications to be certified / specified by Engineer

Bricks below ground level must be of a suitable quality

• External bricks usually selected for face appearance

Bricks filled with Concrete horizontal & vertical

Typical Non -Load Bearing Single Wall Foundation Detail 1:25