

SCHEDULE OF RIGHTS	
ERF NUMBER	3900
TOWNSHIP	Homestead Drive, Sea Vista, St Francis
STREET NUMBER & NAME	Unit Number 36
SITE AREA	413m ²
USE ZONE	Use Zone 1 : Residential
PARKING REQUIREMENT	2 Parking Bays per Unit
HEIGHT RESTRICTION	8.5m
FAR	31.80
Floor Areas	
GROUND STOREY	130.81m ²
Ground Floor	73.03m ²
Covered Steep	13.06m ²
Garage	44.72m ²
FIRST STOREY	124.50m ²
Balcony	16.35m ²
First Floor	108.15m ²
TOTAL FLOOR AREA	255.31m ²
Coverage	
Proposed New Dwelling	130.81m ² (31.67%)
Gross Floor Area	
GROUND STOREY	86.09m ²
Ground Floor	73.03m ²
Covered Steep	13.06m ²
FIRST STOREY	108.15m ²
First Floor	108.15m ²
TOTAL GROSS FLOOR AREA	194.24m ²

KOUGA MUNICIPAL STAMP

Homestead Views
Home Owners Association & Aesthetics
Committee
CONDITIONALLY APPROVED
21/07/2023
HSV HOA
Subject to Local Municipal Authority
Approval

All work to be done and all materials to be used have to comply with SANS10400 regulations

- Part A - General Principles
- Part B - Structural Design
- Part C - Dimensions
- Part D - Public Safety
- Part E - Demolition work
- Part F - Site Operations
- Part G - Excavations
- Part H - Foundations
- Part J - Floors
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- Part L - Roofs
- Part M - Stairs
- Part N - Glazing
- Part O - Lighting Ventilation
- Part P - Drainage
- Part Q - Non Water Borne Sanitation
- Part R - Storm Water
- Part S - Disabled
- Part T - Fire Protection
- Part U - Refuse Disposal
- Part V - Space Heating
- Part W - Fire Installations
- Part X - Energy

Energy Efficiency Supplement Documents as per SANS10400 forms part of this set of drawings and specification should be read in conjunction with this documentation's.

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all fluorescent light fittings to be SABS approved 11W LED
all other light fittings to min. SABS approved 5W LED with 50W output.

Timber
all timber work to comply with SABS standards 082 : 0137 : 0400
all timber to be treated to SABS specs 1228 of 1994

Space Heating
provision of space heating to comply with SANS10400 part V - where applicable

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SHEET DESCRIPTION
Site Plan, Contour Plan & Setting Out Dimensions, Schedule of Rights, Roof Plan, Drainage Section, Connection Legend, Line Legend

PROPERTY OWNER / AUTHORIZED AGENT
The Lifestyle Village (Pty) Ltd

PROJECT ADDRESS
Unit 36
Homestead Drive
Sea Vista
St Francis
Eastern Cape
South Africa

NATURE OF PROJECT
Proposed New Dwelling

DRAWN J.H. DESIGNED H.B. CHECKED BY H.B. SCALE As indicated

hennie bezuidenhout
Architectural
Project Management Services
S.A.C.A.P.S.A Reg. no ST 1414
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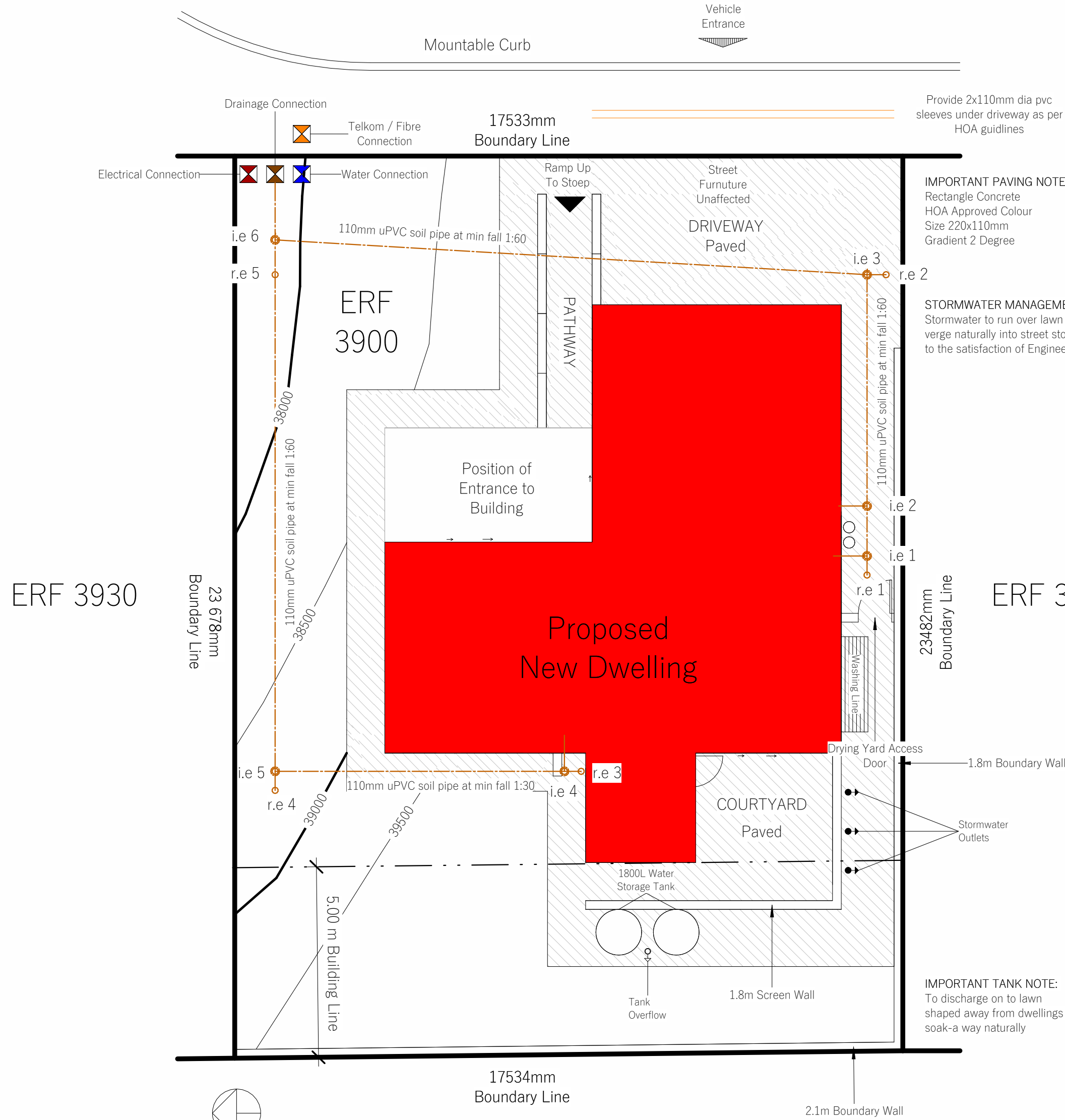
DATE
21/07/2023

SIGNATURE
H.Bezuidenhout

PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST
HENNIE HENNIE BEZUIDENHOUT
11:58 AM (Africa/Johannesburg) on 03 Mar 2023

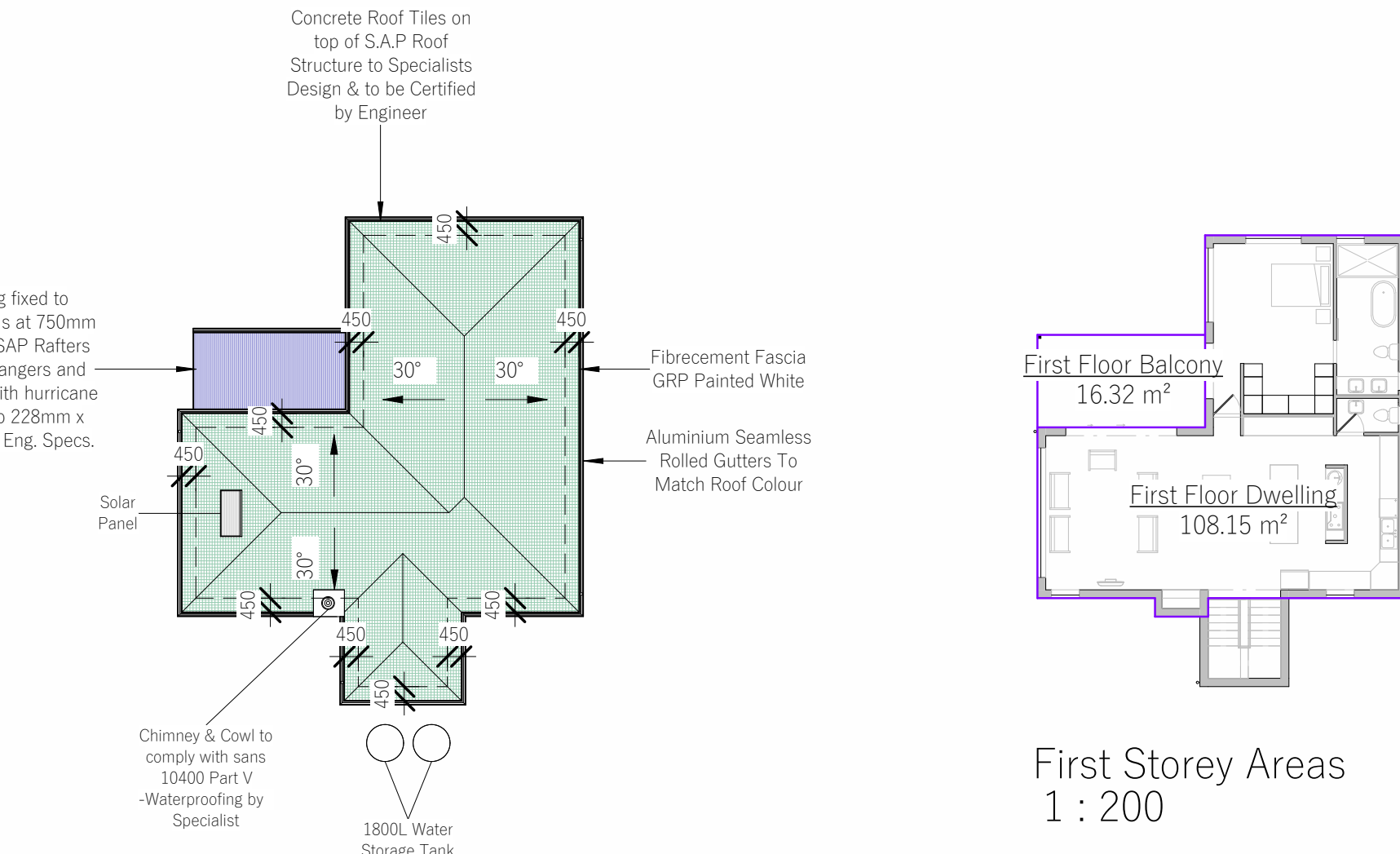
Professional Indemnity Insurance:
Stalker Hutchison Admiral (Pty) Ltd
Policy No. 7000/146176 SHA

INTERNAL STREET

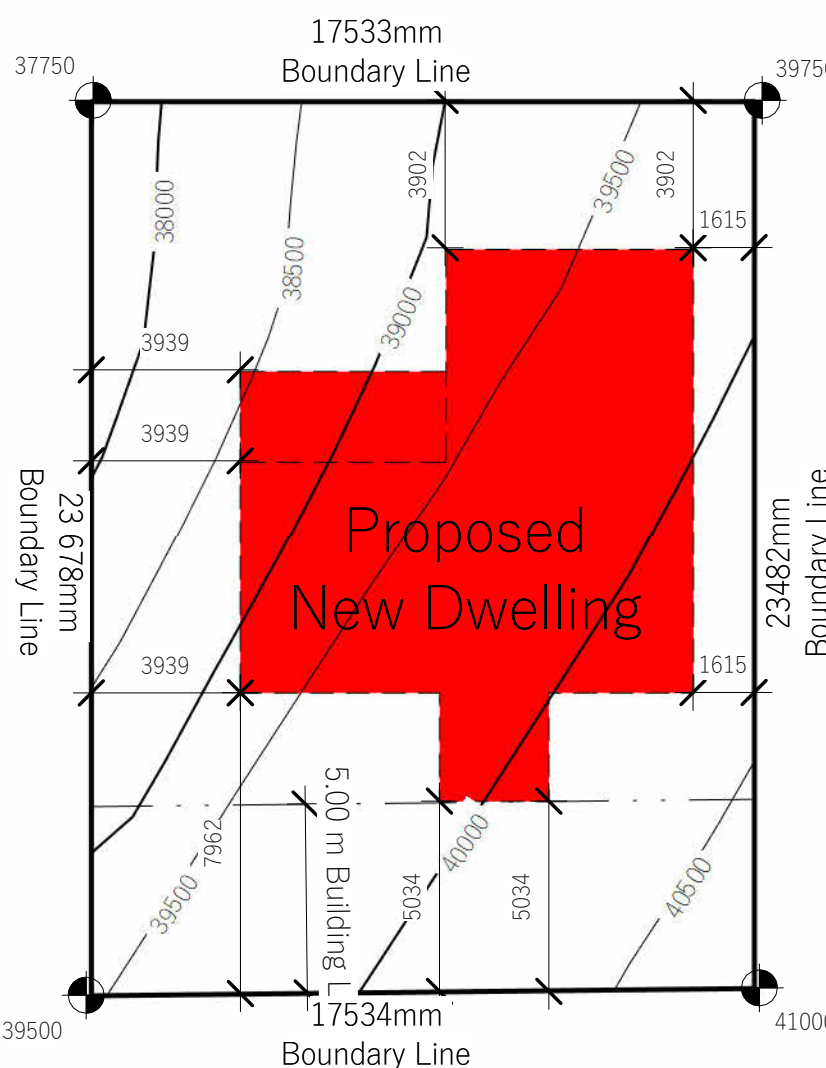


REMAINDER OF PORTION 27
OF THE FARM GOED GEOOF
NO. 745

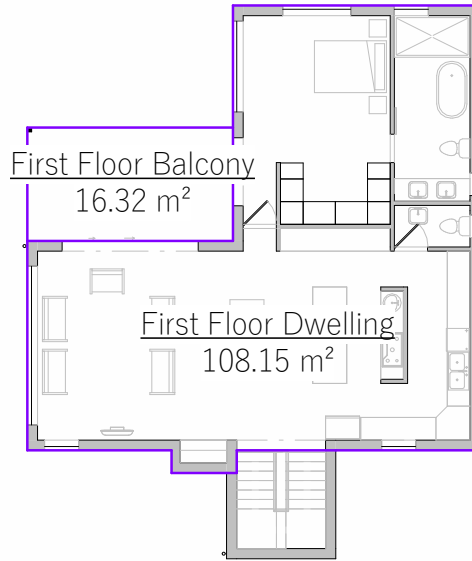
Site Plan
1 : 100



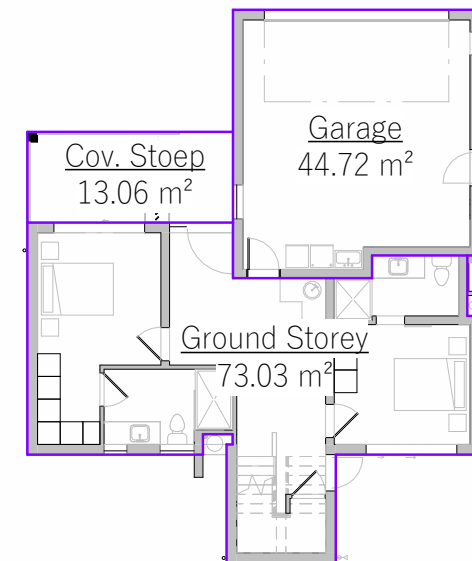
Roof Plan
1 : 200



Contour Plan & Setting Out Dimensons
1 : 200



First Floor Areas
1 : 200



Ground Storey Areas
1 : 200

Line Legend	
---	Overhead
----	1 Way Switch
----	2 Way Switch
----	110mm Dia Soil Pipe
----	50mm Dia Waste Pipe
----	15mm Cold Water Pipe
----	22mm Potable Water Main Pipe
----	15mm Hot Water Pipe -Solar
----	15mm Hot Water Pipe
----	Boundary Lines
----	Channel
----	Day Night Switch
----	Gas Line
----	Height Restriction
----	LED Strip
----	NGL
----	Roof Lines
----	Electrical Cable Line
----	110mm Dia UPVC Pipe Sleeves
----	Timber Bulkhead Above
----	25mm Conduit Sleeves For Telkom/Fibre

Line Legend
1 : 100

Symbol	Description
⬛	Catchpit
⊠	Gas Connection
⊙	Manhole
⦿	Utility Pole
●	Telephone Pole
⬤	Street Lamp
⊗	Gate Valve
⊠	Water Meter
⊠	Electrical Connection
⦿	Inspection Eye
⦿	Rodding Eye
⊠	Sewer Connection
⊠	Telkom/Fibre Connection

Connection Legend
1 : 100

Internal Room Finish Schedule		
Room Name	Finish	Area
	Floor	
Double Garage	Grano	37.91 m²
Bedr. 1	Tiles	11.38 m²
Bathr. 1	Tiles	4.78 m²
Foyer/Entrance	Tiles	17.82 m²
Store Rm.	Tiled	4.79 m²
Bedr. 2	Tiles	14.90 m²
Bathr. 2	Tiles	6.16 m²
Stoop	Tiled	13.06 m²
Ground Storey: 8		
Bedr. 3	Tiles	21.29 m²
Bathr. 3	Tiles	9.82 m²
Lounge	Tiles	26.78 m²
Open Balcony	Tiles	16.32 m²
Kitchen	Tiles	24.03 m²
Scullery	Tiles	8.25 m²
Toilet	Tiled	2.20 m²
First Storey: 7		

Symbol	Description	Tag
■	Gulley	Gu
•	Stubstack	SS
•	Vent Pipe	VP
⌵	Garden Tap	GT
GB	Gas Bottle	GB
⌵	Kitchen Sink Single	KSS
⌵	Prep Bowl	PB
⌵	Kitchen Sink Double	KSD
⌵	Washing Trough	WT
⌵	Kitchen Sink Triple	KST
⌵	Hand Wash Basin Round	HWB

Plumbing Legend
1 : 100

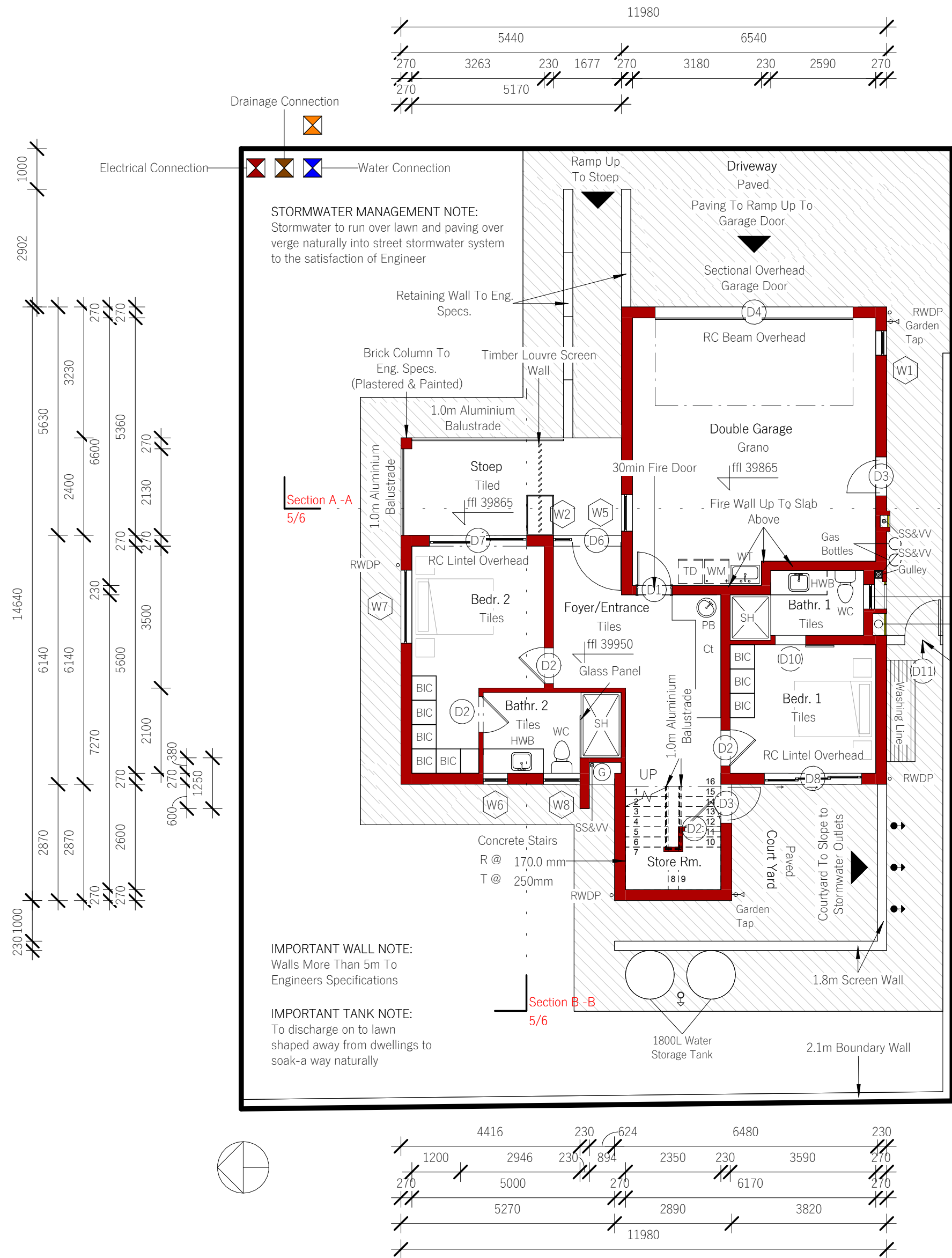
⌵	Hand Wash Basin Square	HWB
⌵	Wall Mounted Toilet	WMT
⌵	Basic Toilet	WC
⌵	Urinal	UR
●	Pool Pump	PP
⌵	Free Standing Bath	B
⌵	Built In Bath	B
⌵	Shower	SH
⌵	Water Storage Tank	WST

Symbol	Description	Tag
⌵	Dish Washer	DW
⌵	Washing Machine	WM
⌵	Tumble Dryer	TD
⌵	Refrigerator	REFs
⌵	Refrigerator French Door	REFf
⌵	Freezer (Upright)	uFRE
⌵	Freezer (Chest)	cFRE
⌵	Cook Top (Gas)	CTgas
⌵	Cook Top (Electric)	CTele
⌵	Vent Hood Ceiling Mounted	VHC

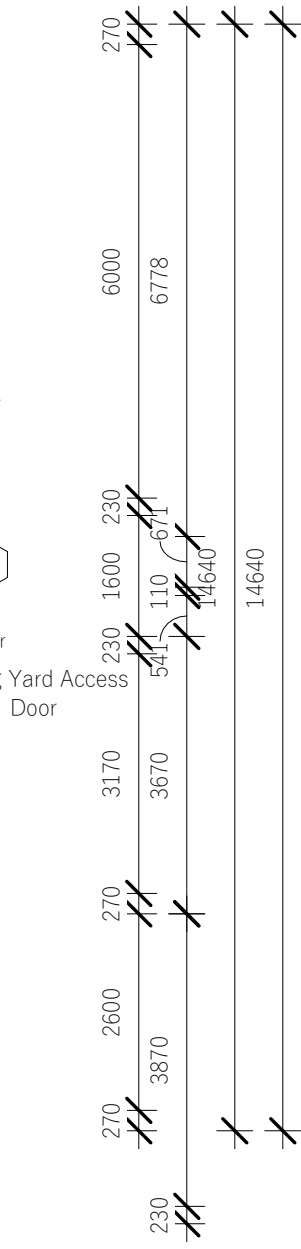
Electrical Appliances Legend
1 : 100

⌵	Vent Hood Wall Mounted	VHW
⌵	Oven Single Built In	OVSB
⌵	Oven Double Built In	OVDB
⌵	Microwave Built In	MCB
⌵	Oven Double	OVD
⌵	Oven Single	OVS
⌵	Cook Top & Oven (Gas)	CTOG
⌵	Cook Top & Oven (Electric)	CTOE
⌵	Undercounter Beverage Fridge	UB
⌵	Undercounter Refrigerator	UR
⌵	Undercounter Wine Storage	UWS

⌵	Existing Earth
⌵	Earth / Filling
⌵	Compact Soil
⌵	Stone Cladding
⌵	Rock
⌵	Screed
⌵	Concrete
⌵	Paving
⌵	Brick
⌵	Timber
⌵	Steel
⌵	Aluminium
⌵	Insulation (In Sheets)
⌵	Insulation (Loose)
⌵	Fibre Board
⌵	Timber Cladding
⌵	Glazing

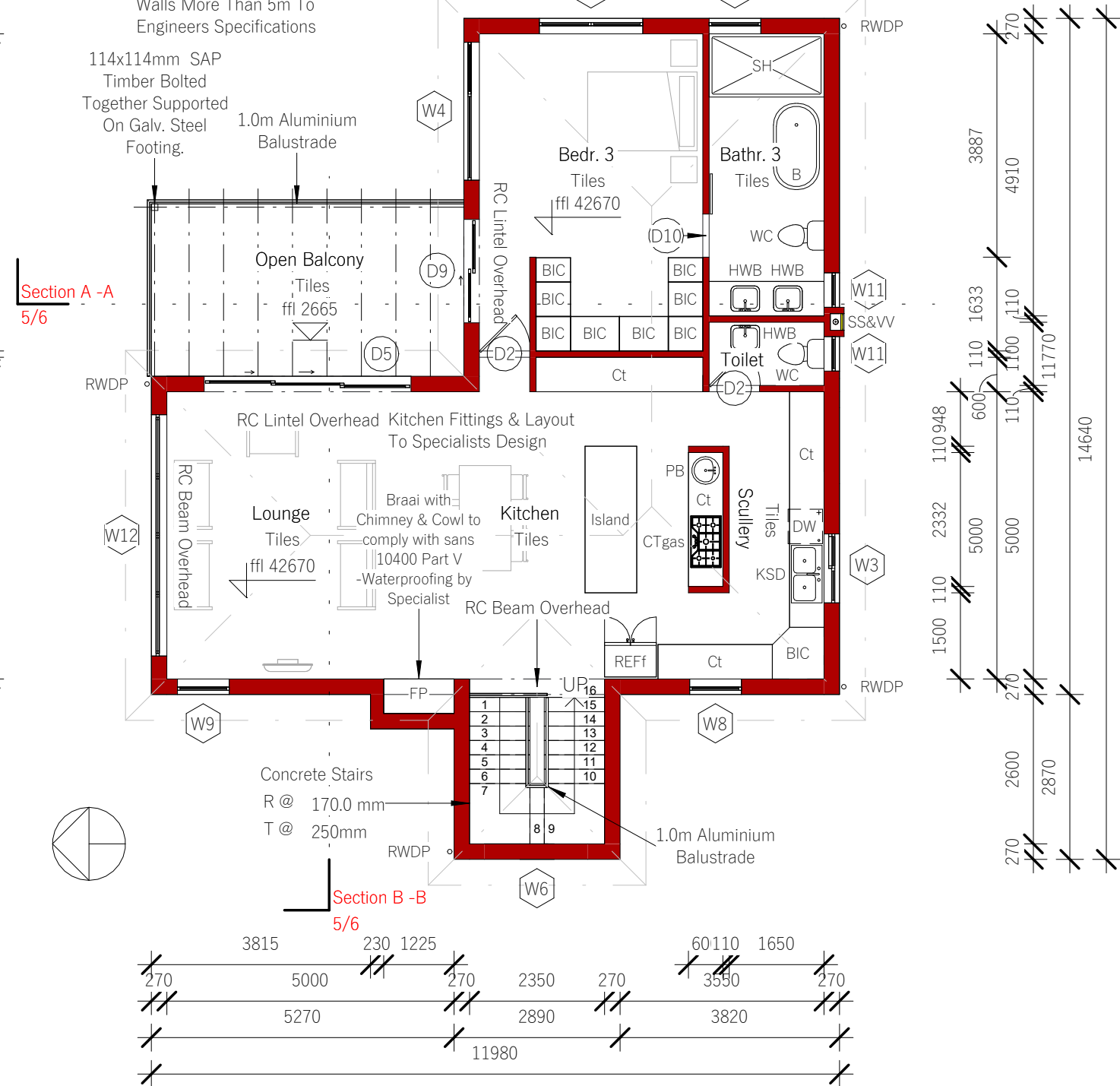
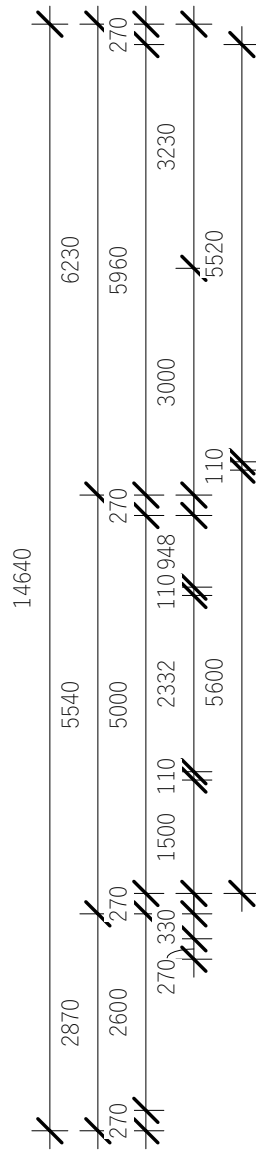


00 -Ground Storey
1 : 100



IMPORTANT TAG NOTE:
For Plumbing Fixtures, Electrical / Gas Appliances & Casework Fittings Descriptions. Refer To Legends

IMPORTANT CASEWORK NOTE:
Casework Fittings & Layout To Specialists Design & Clients Choice



01 -First Storey
1 : 100

KOUGA MUNICIPAL STAMP

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Timber
all timber work to comply with SABS standards 082 : 0137 : 0400
all timber to be treated to SABS specs 1228 of 1994

Space Heating
provision of space heating to comply with SANS10400 part V - where applicable

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SHEET DESCRIPTION
Floor Plans, Legends

PROPERTY OWNER / AUTHORIZED AGENT The Lifestyle Village (Pty) Ltd	CLIENTS APPROVAL SIGNATURE
PROJECT ADDRESS Unit 36 Homestead Drive Sea Vista St Francis Eastern Cape South Africa	ERF/HOLDING/PORTION ERF 3900 PLAN NUMBER ???
NATURE OF PROJECT Proposed New Dwelling	DATE 21/07/2023
DRAWN J.H	DESIGNED H.B
CHECKED BY H.B	SCALE As indicated

hennie bezuidenhout
Architectural
Project Management Services
S.A.C.A.P.S.A Reg. no ST 1414
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Jeffrey's Bay
cell: 082 653 61583
email : henniearch3@hotmail.com

21/07/2023
Signature: **HBezuidenhout**

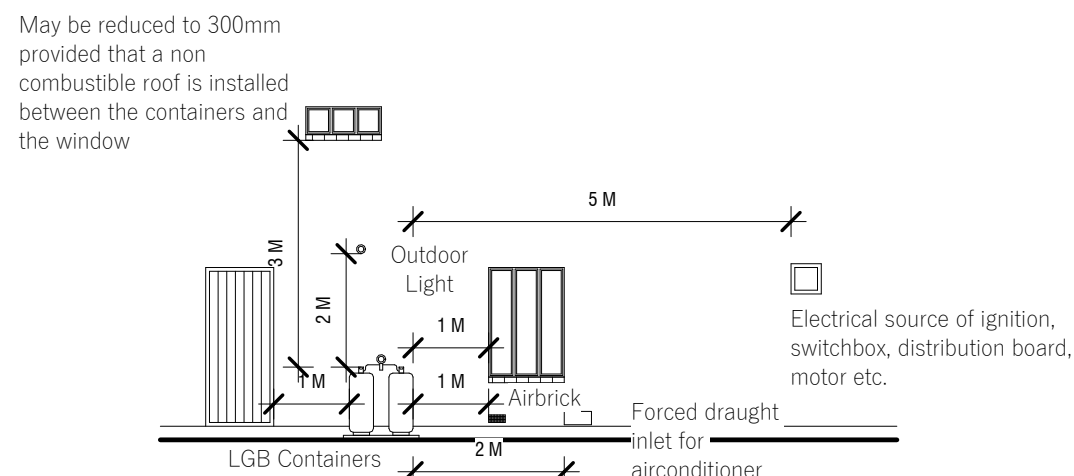
PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST
HENNIE HENNIE BEZUIDENHOUT
11:58 AM (Africa/Johannesburg) on 03 Mar 2023

Professional Indemnity Insurance:
Stalker Hutchison Admiral (Pty) Ltd
Policy No. 7000/146176 SHA

01 -First Storey Plumbing & Electrical Plan
1 : 100

Average daily water consumption (hot and cold) appliances				Hot water demand, storage and heater power requirements	
Domestic & Commercial appliances	L/operation	No of Fittings	Total/L/operation	Total hot water demand	690L
Bath	80-90	2	180	Storage volume at 60° C	300L - required
Clothes Washing machine	60-180	1	150		100L - SUPPLIED & 16L Gas Geyser
Dishwashing machine	3-70	1	60	(1 x 5000L Water Storage on site)	
Shower	3-6a	3	19		
Wash-hand basin	4-8	7	56	<u>WATER SUPPLY & RETICULATION NOTES:</u>	
WC flushing valve	8-10	4	40		
			505	ALL EXPOSED HOT WATER PIPES WITH < 80mm TO HAVE LAGGING WITH A MIN. R-VALUE = 1	
Domestic Appliances	L/day	Person Served	Total/L/day/person served		
Car washing and garden use	3-6	6	36	WATER SUPPLY TO BE AVAILABLE BY LOCAL COUNCIL	
Drinking, food prep & cooking	18-22	6	120		
Laundry	10-15	6	90		
Personal washing & bathing	20-30	6	180		
Washing dishes	8-12	6	72		
WC flushing	32-40	6	240		
			738L		
		Total	1243L		

Hot water demand, storage and heater power requirements			
1.	2.	3.	4.
Premises	Total hot water demand	Storage volume at 60° C	Heater power*
Dwelling	(115-140) L/capita/d	(40-50) L/capita	2-5 kW/unit
Medium to High Rental			

GAS Installation diagram as per SANS 10087 -
Installation by SpecialistGas Installation Legend
1 : 100

Minimum R-Value of pipe insulation	
1	2
Internal diameter of pipe mm	Minimum R-value*
≤80	1.00
>80	1.50

* Determined with a hot surface temperature of 60° C and an ambient temperature of 15° C.

R- Value of pipe insulaton
1 : 50

Symbol	Description	Tag
	Rainwater Downpipe	RWDP
	Gully	Gu
	Stubstack	SS
	Vent Pipe	VP
	Inspection Eye	I.E
	Rodding Eye	R.E
	Manhole	MH
	Grease Trap	GT
	Discharge Arrow	DC

Drainage Legend
1 : 100

Symbol	Description	Tag
	Dish Washer	DW
	Washing Machine	WM
	Tumble Dryer	TD
	Refrigerator	REFs
	Refrigerator French Door	REFf
	Freezer (Upright)	uFRE
	Freezer (Chest)	cFRE
	Cook Top (Gas)	CTgas
	Cook Top (Electric)	CTele
	Vent Hood Ceiling Mounted	VHC

Electrical Appliances Legend
1 : 100

Symbol	Description	Tag
	Light Switch	LS1
	Light Switch 2 Way	LS2
	Light Switch 3 Way	LS3
	Dimmer Switch	DS
	Timer Switch	TS
	Meter Box	MB
	Distribution Box	DB
	Sub. Distribution Box	SDB
	Control Panel	CO
	Hot Water Geyser	G

Electrical Fixture Legend
1 : 100

Symbol	Description	Tag
	Vent Hood Wall Mounted	VHW
	Oven Single Built In	OVSB
	Oven Double Built In	OVDB
	Microwave Built In	MCB
	Oven Double	OVD
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Symbol	Description	Tag
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	Vent Pipe	VP
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	Gas Bottle	GB
	Kitchen Sink Single	KSS
	Prep Bowl	PB
	Kitchen Sink Double	KSD
	Washing Trough	WT
	Kitchen Sink Triple	KST
	Hand Wash Basin Round	HWB

Plumbing Legend
1 : 100

Plumbing Fixture Schedule
Type
Garden Tap
2
Gas Bottle
2
Kitchen Sink Double
1
Trough
2
Prep Bowl
1
Hand Wash Basin
5
Toilet
4
Free Standing Bath
1
<varies>
2
Shower
3

Lighting Fixture Schedule
Family
Ceiling Fan
3
Ceiling Light
10
Downlight
28
Exterior Ceiling Light
6
Exterior Wall Light
2
Interior Wall Light
3
Pendant Light
3

Electrical Fixture Schedule
Family
300h Double Plug Switch
17
1100h Double Plug Switch
11
DB
28
Light Switch
21
Light Switch 2 Way
15
M_Solar Panel
1
Satellite Dish
1
Shaving Point
3
Solar Inverter
1
Stove Point
1
Sub DB
1
TV Point
1
TV Point1
1
Wifi Dish
1

Symbol	Description	Tag
	Ceiling & Downlight Fan	CLF
	Pendent	PL
	Downlight	DL
	Ceiling Light	CL
	Garden Light	GL
	Floor Light	FL
	Exterior Wall Light	EWL
	LED Ceiling Light	LED
	Interior Wall Light	IWL
	Pool Light	PL
	Garden Light	GL
	Exterior Ceiling Light	ECL
	Random LED Starlight / Strip lighting	STL
	Flood Light	FL

Lighting Legend
1 : 100

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Plumbing & Electrical Plans, Legends, Water Consumption & Energy RequirementsPROPERTY OWNER / AUTHORIZED AGENT
The Lifestyle Village (Pty) LtdPROJECT ADDRESS
Unit 36
Homestead Drive
Sea Vista
St Francis
Eastern Cape
South AfricaNATURE OF PROJECT
Proposed New Dwelling

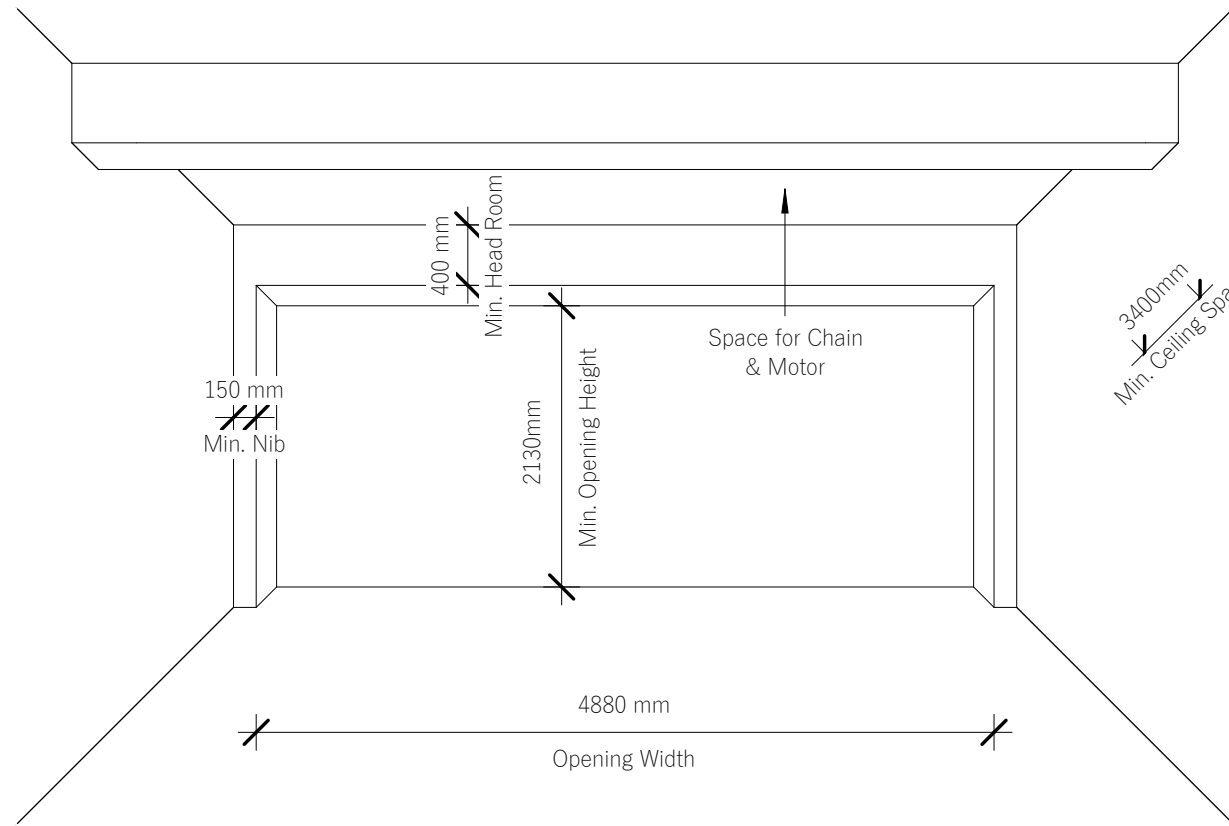
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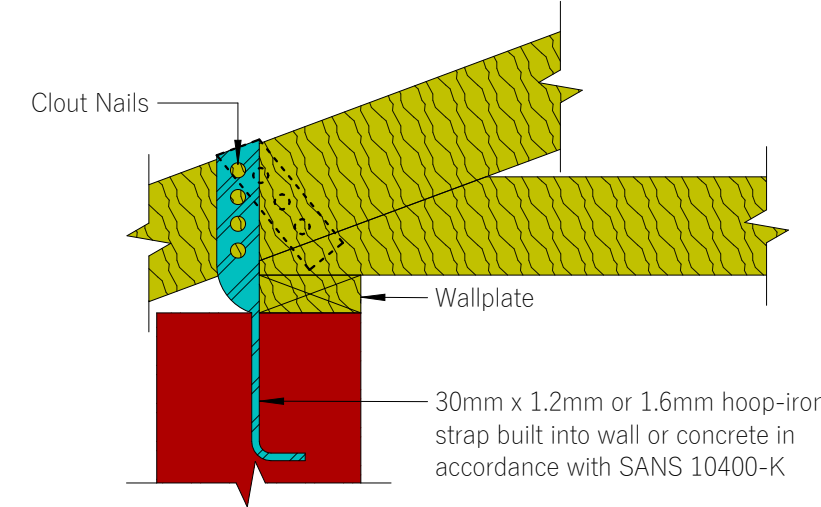
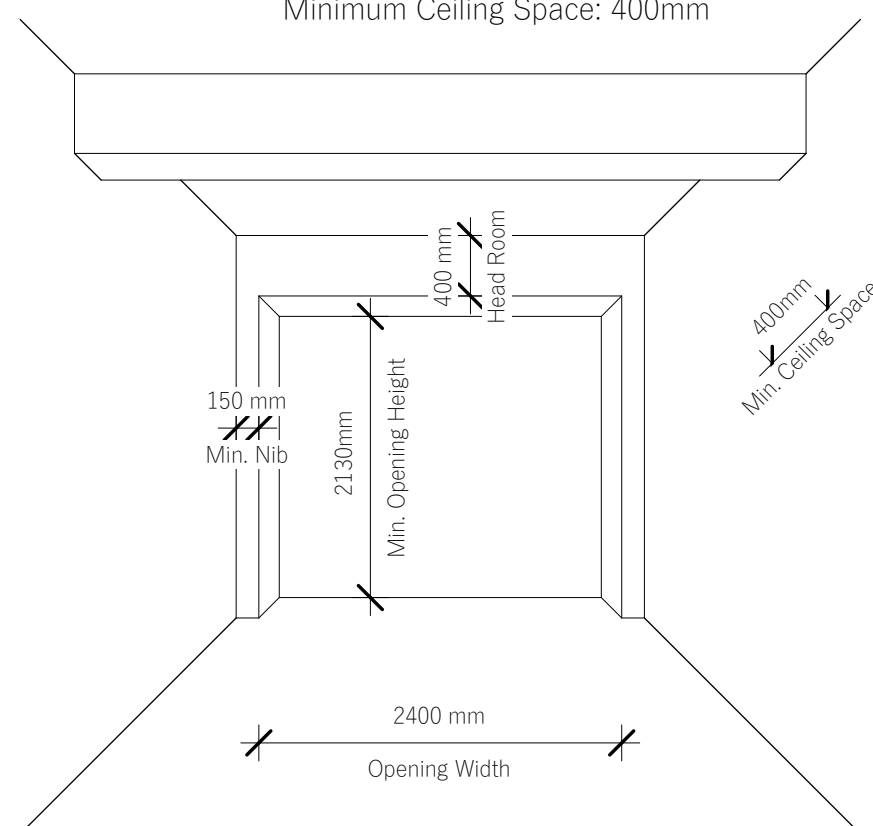
Professional Indemnity Insurance:
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Building Requirements For Standard Single and Double Sectional Garage Doors
Minimum Head Room: 400mm
Minimum Side Nib Space On Either Side: 150mm
Minimum Ceiling Space: 3400mm
REQUIRED DEPTH FROM OPENING
TO BACK OF GARAGE
(FOR CHAIN AND MOTOR DRIVE)

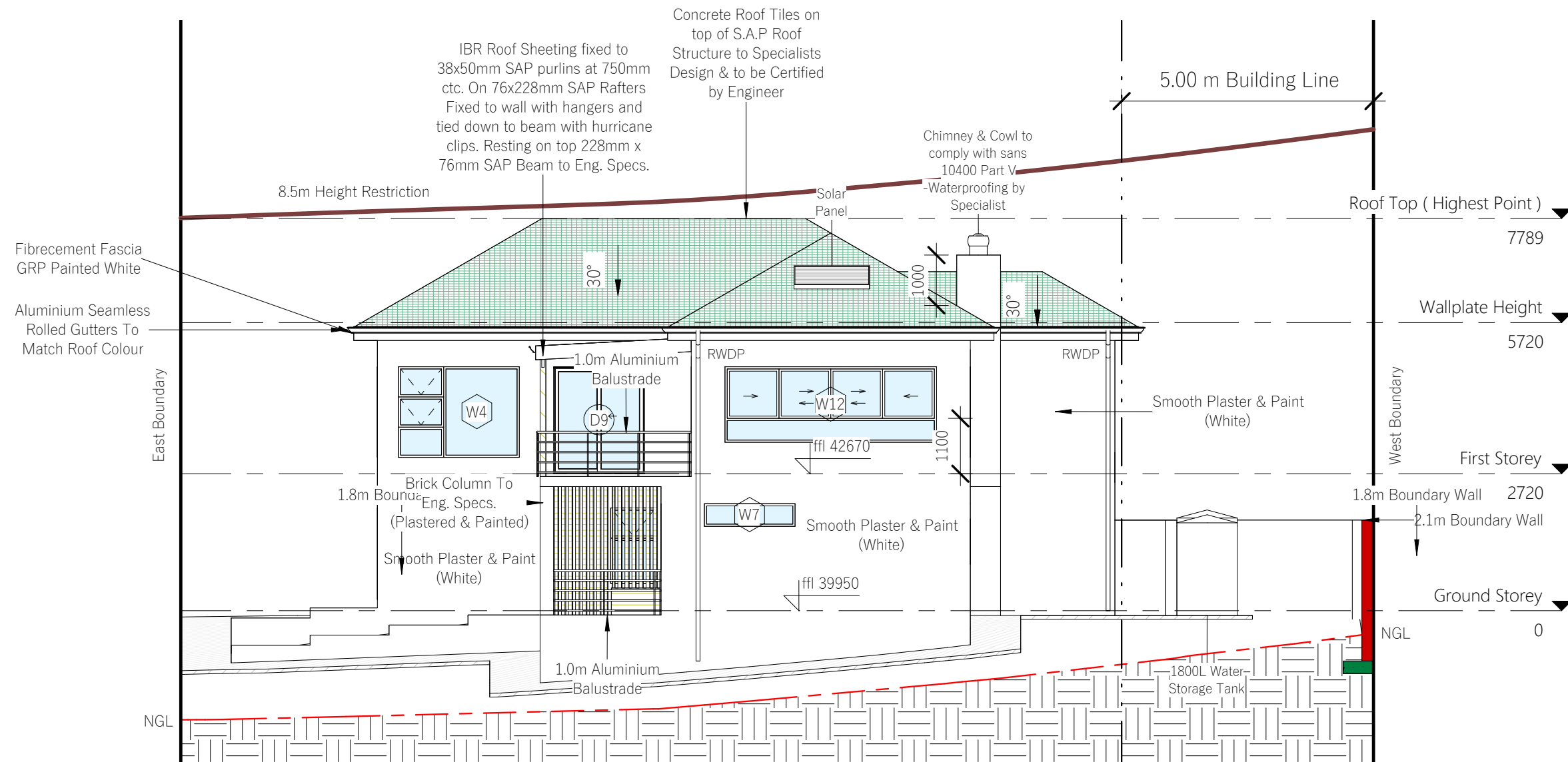


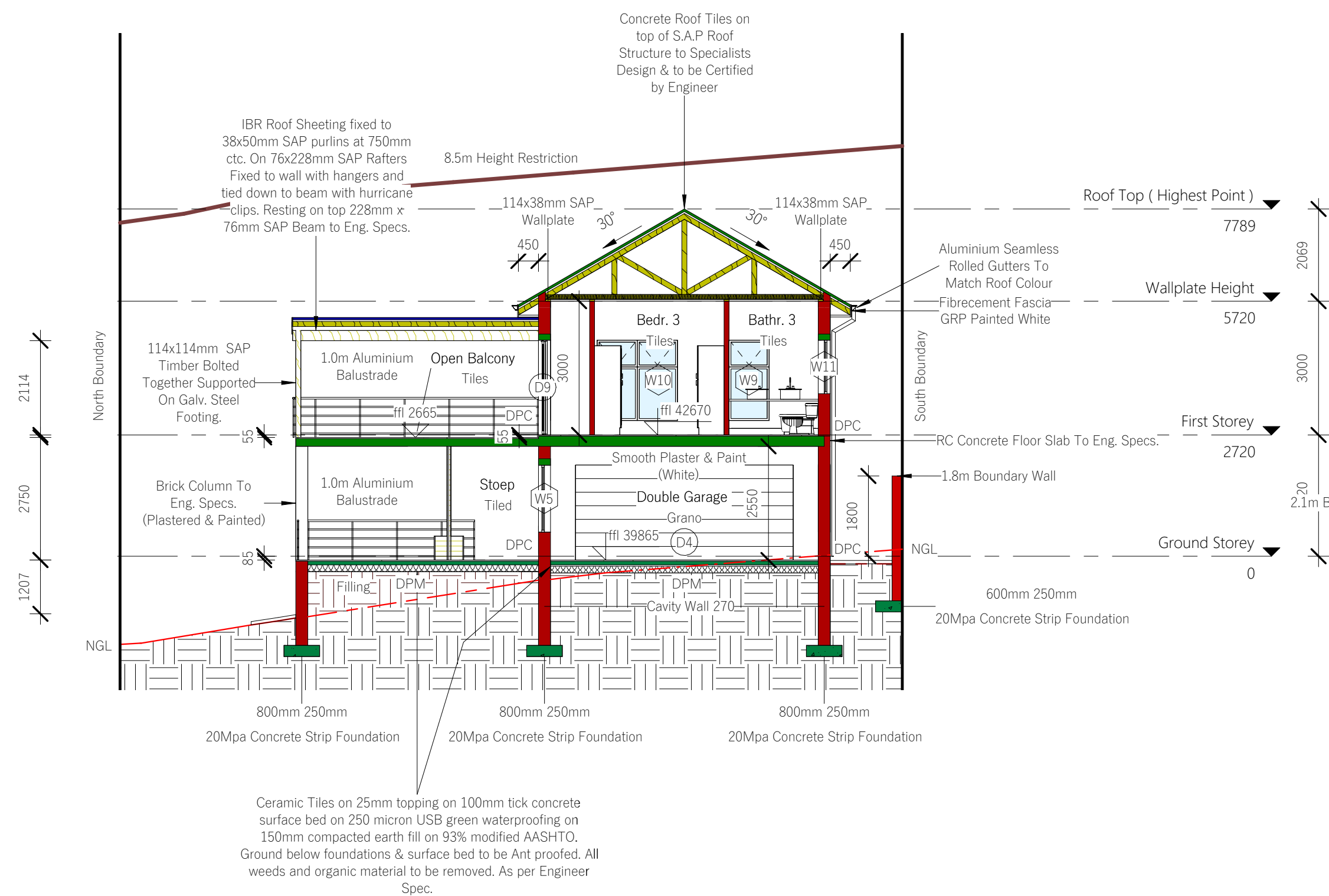
Garage Door Building Requirements
1 : 50

Roll -up Garage Door Building Requirements For Standard Single Openings
Minimum Head Room: 400mm
Minimum Side Nib Space On Either Side: 150mm
Minimum Ceiling Space: 400mm

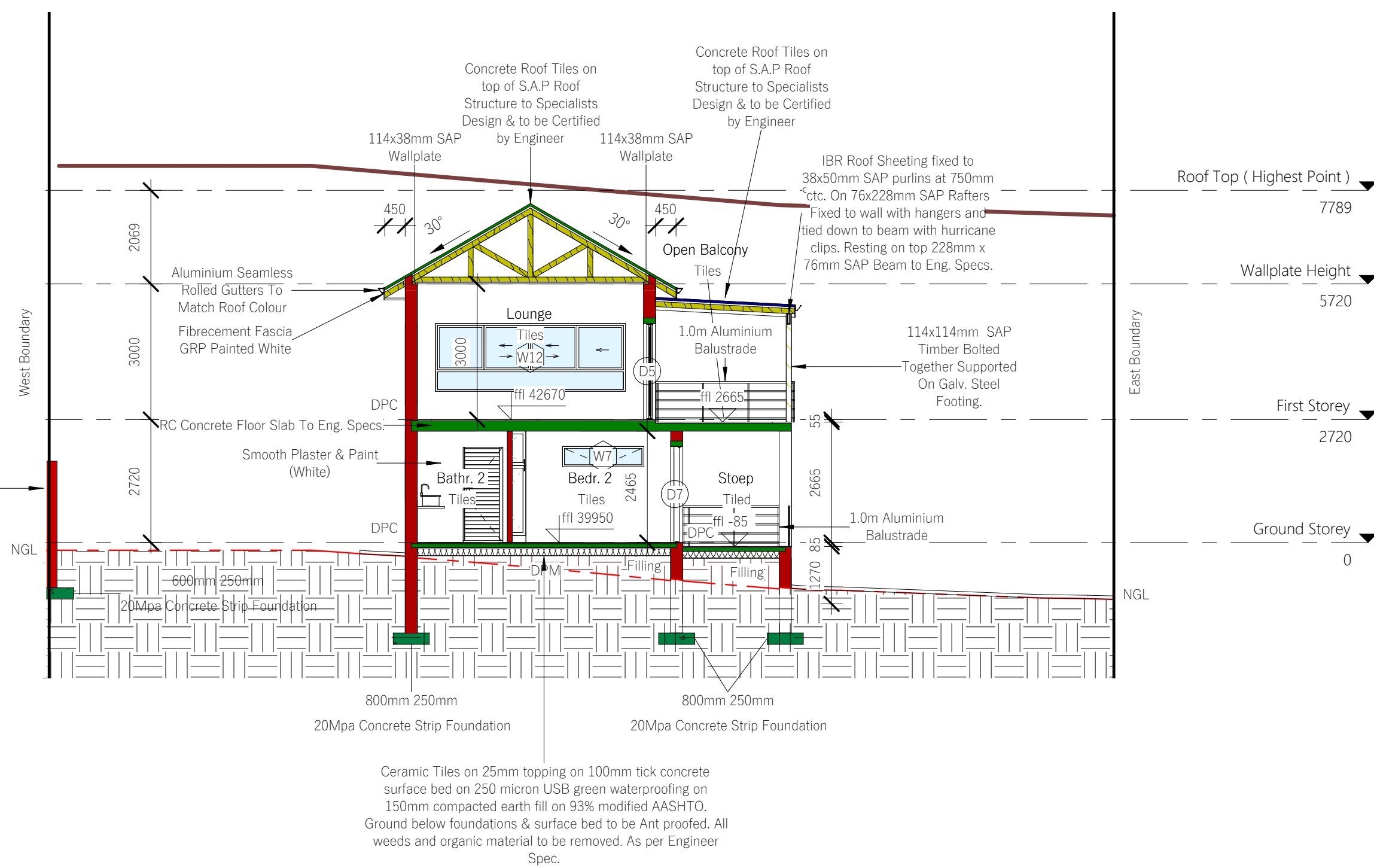


Roof Anchorage Details
1 : 10





Section A -A
1 : 100



Section B -B
1 : 100

Number	W1	Number	W2	Number	W3	Number	W4	Number	W5	Number	W6
Dimensions	1500h x 600w	Dimensions	1500h x 447w	Dimensions	900h x 1200w	Dimensions	1800h x 2400w	Dimensions	1500h x 900w	Dimensions	900h x 600w
Elevation		Elevation		Elevation		Elevation		Elevation		Elevation	
Type	Top Hung	Type	Side Light -Fixed Pane	Type	Top Hung	Type	Top Hung	Type	Top Hung	Type	Top Hung
Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated
Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt
Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice
Glazing	Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Obscure -Safety
Number	W7	Number	W8	Number	W9	Number	W10	Number	W11	Number	W12
Dimensions	450h x 1800w	Dimensions	1200h x 900w	Dimensions	1800h x 900w	Dimensions	1800h x 1800w	Dimensions	1200h x 600w	Dimensions	1500h x 4200w
Elevation		Elevation		Elevation		Elevation		Elevation		Elevation	
Type	Fixed Pane	Type	Top Hung	Type	Top Hung	Type	Top Hung	Type	Top Hung	Type	Sliding Window
Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated	Frame Material	Aluminium -Powdercoated
Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt	Colour	Charcoal -Matt
Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice	Ironmongery	To Clients Choice
Glazing		Glazing	Obscure/Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Clear -Safety	Glazing	Single Obscure -Safety	Glazing	Single Clear -Safety
Number	D1	Number	D2	Number	D3	Number	D4	Number	D5	Number	D6
Dimensions	2101h x 897w	Dimensions	2096h x 891w	Dimensions	2096h x 891w	Dimensions	2130h x 4880w	Dimensions	2125h x 3600w	Dimensions	2125h x 1230w
Elevation		Elevation		Elevation		Elevation		Elevation		Elevation	
Type	30min Class E Fire Door Leaf	Type	MDF Horizontal	Type	SD20	Type	Sectional Overhead Garage Door	Type	Sliding Door	Type	Front Door
Frame Material	Refer To Swartland Codes	Frame Material	Refer To Swartland Codes	Frame Material	Refer To Swartland Codes	Frame Material	Steel Galvanized	Frame Material	Powdercoated Aluminium	Frame Material	Aluminium Powdercoated
Colour	White	Colour	White	Colour	To Owners Choice	Colour	Matt Charcoal	Colour	Matt Charcoal	Colour	Charcoal -Matt
Ironmongery	To Owners Choice	Ironmongery	To Owners Choice	Ironmongery	To Owners Choice	Ironmongery	To Owners Choice	Ironmongery	To Owners Choice	Ironmongery	To Owners Choice
Panel	Refer To Swartland Codes	Panel	Refer To Swartland Codes	Glazing	Single Low E -Safety Glass	Panel	Powdercoated Aluminium	Glazing	Single Low E -Safety Glass	Glazing	Single Low E -Safety Glass
Number	D7	Number	D8	Number	D9	Number	D10	Number	D11		
Dimensions	2125h x 2400w	Dimensions	2125h x 2400w	Dimensions	2125h x 1800w	Dimensions	2096h x 750w	Dimensions	1800h x 900w		
Elevation		Elevation		Elevation		Elevation		Elevation			
Type	Sliding Door	Type	Sliding Door	Type	Sliding Door	Type	Single Slider	Type	Drying Yard Access Door		
Frame Material	Powdercoated Aluminium	Frame Material	Powdercoated Aluminium	Frame Material	Powdercoated Aluminium	Frame Material	Refer To Swartland Codes	Frame Material	Galv. Steel		
Colour	Matt Charcoal	Colour	Matt Charcoal	Colour	Matt Charcoal	Colour	White	Colour	White		
Ironmongery	To Owners Choice	Ironmongery	To Owners Choice	Ironmongery	To Owners Choice	Ironmongery	To Owners Choice	Ironmongery	To Owners Choice		
Glazing	Single Low E -Safety Glass	Glazing	Single Low E -Safety Glass	Glazing	Single Low E -Safety Glass	Panel	Refer To Swartland Codes	Panel	Handiplank Cladding		

Door & Window Legend
1 : 200

Window Quantities		Door Quantities	
Type Mark	From Room: Name	Type Mark	From Room: Name
W1	Double Garage	D1	Foyer/Entrance
1		1	
W2	Stoep	D2	Foyer/Entrance
1		D2	Foyer/Entrance
W3	Scullery	D2	Bedr. 2
1		D2	Kitchen
W4	Bedr. 3	D2	Toilet
1		D2	Bathr. 2
W5	Stoep	6	
1		D3	Double Garage
W6	Bathr. 1	D3	Court Yard
W6	Store Rm.	2	
W6	Bathr. 2	D4	Double Garage
3		1	
W7	Bedr. 2	D5	Open Balcony
1		1	
W8	Bathr. 2	D6	Stoep
W8	Kitchen	1	
2		D7	Stoep
W9	Bathr. 3	1	
W9	Lounge	D8	Court Yard
2		1	
W10	Bedr. 3	D9	Bedr. 3
1		1	
W11	Bathr. 3	D10	Bathr. 1
W11	Toilet	D10	Bedr. 3
2		2	
W12	Lounge	D11	
1		1	

KOUGA MUNICIPAL STAMP

Homestead Views
Home Owners Association & Aesthetics
Committee
CONDITIONALLY APPROVED
21/07/2023

HSV HOA
Subject to Local Municipal Authority
Approval

All work to be done and all materials to be used have to comply with SANS10400 regulations

Part A - General Principles
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All requirements of municipal and other authorities concerned have to be adhered to. Contractors and Sub-contractors are to check all dimensions and levels on building site before commencing with any work.
Figured dimensions to be taken in preference to scaled measurements and large scale details supersedes small scale drawings.
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Lighting & Energy Usage:
all fluorescent light fittings to be SABS approved 11W LED
all other light fittings to min. SABS approved 5W LED with 50W output.

Timber
all timber work to comply with SABS standards 082 : 0137 : 0400
all timber to be treated to SABS specs 1228 of 1994

Space Heating
provision of space heating to comply with SANS10400 part V - where applicable

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SHEET DESCRIPTION
Sections, Door & Window Legend

PROPERTY OWNER / AUTHORIZED AGENT The Lifestyle Village (Pty) Ltd	CLIENTS APPROVAL SIGNATURE
PROJECT ADDRESS Unit 36 Homestead Drive Sea Vista St Francis Eastern Cape South Africa	ERF/HOLDING/PORTION ERF 3900 PLAN NUMBER ???
NATURE OF PROJECT Proposed New Dwelling	DATE 21/07/2023
DRAWN J.H	DESIGNED H.B
CHECKED BY H.B	SCALE As indicated

hennie bezuidenhout
Architectural
Project Management Services
S.A.C.A.P.S.A Reg. no ST 1414
UNIT NO.1 - VASCO BUILDING
111 DA GAMA ROAD
Jeffrey's Bay
cell: 082 653 61583
email : henniearch3@hotmail.com

Date: 21/07/2023
Signature:

PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST
HENNIE HENNIE BEZUIDENHOUT
11:58 AM (Africa/Johannesburg) on 03 Mar 2023

Professional Indemnity Insurance:
Stalker Hutchison Admiral (Pty) Ltd
Policy No. 7000/146176 SHA

General Notes

Building Works

All building work components and site operations to comply with the applicable national building regulations, SABS standards and SANS10400, SANS204, SANS10251, SANS10252 and any other mandatory standards, regulations and code of conduct.

Structure

All applicable structural elements and components to be designed and certified by structural engineer, to comply with the requirements of the national building regulations SANS10400 parts H,J,K,L,M,N.

Dimensions

All humanly habitable rooms shall have a minimum floor area of 6m sqm with a min. horizontal dimension of 2,0m and height, floor to ceiling of 2,4m. All dimensions to comply with SANS10400 part C

Public Safety

Changes in level, design of ramps and driveways, access to swimming pools to comply with SANS10400 part D

Demolition Work

Demolition of existing structures to comply with SANS10400 part E

Site Operations

All site operations, including protection of public, shall be executed to comply with SANS10400 part F.
Approved sanitary facilities for all site personnel to be available prior to commencement of site work, and shall be available throughout the duration of the building operations.

Excavations

All excavations to comply with SANS10400 part G

Foundations

The minimum width to any continuous strip foundations shall be 600mm
330mm walls: 1250x450mm concrete strip foundation
270mm walls: 850x300mm concrete strip foundation
230mm walls: 750x300mm concrete strip foundation
110mm walls: 600x300mm concrete strip foundation
All foundations to be checked and approved by structural engineer.
All foundations to comply with SANS10400 parts B, H.

Floors

All floor to comply with SANS10400 part J
All waterproofing membrane to be turned up around the perimeter of the floor slab by at least the thickness of the floor, and to be provided with a minimum overlap of 200mm at joints.
Penetration of the waterproofing membran by water, sewer or services pipes to be taped with approved pressure sensitive tape to manufacturers specs.
All filling to be moistened prior to compaction but must not show signs of soaking. Sub soil compactions may not exceed 100mm thick with hand compactions and 150mm thick with mechanical compactions.
Appointed engineer to design and inspect filling deeper than 400mm.
Floors in laundries, kitchen, shower, bathrooms or rooms containing a WC, urinal to be water resistant.
Compacted filling more than 300mm thick to approved by Engineer

Lighting and Ventilation

Lighting and ventilation in all humanly habitable rooms, bathrooms, showers and rooms containing WC's to comply with SANS10400 parts O & T

Stormwater

Demolition of existing structures to comply with SANS10400 part E10400 part R

Electrical

All work to be executed by contractors registered with the ELECTRICAL CONTRACTING BOARD OF SA

Retaining Walls

All walls retaining greater than 1000mm to be designed by appointed structural engineer

Drainage & Plumbing

Only SABS approved sanitary fittings and materials to be used and must comply with SANS10400 part P
100mm%/kc discharge stacks & vent pipes
160mm%/kc discharge soil pipes
50mm%/kc soil discharge pipes to showers and urinal
40mm%/kc waste discharge pipes to hwb's baths & sinks
gullies to comply with P29
All waste fittings to have re-sealing traps and water seals not less than 65mm.
Access to drainage systems to be provided with adequately marked and protected and permanently accessible rodding eyes at all changes in directions, with 1500mm of the municipal drainage connection, at the highest point of the drainage system and at max. 25m intervals.
Inspection eyes at all bends and junctions.
No bends, junctions within or underneath walls, surface beds, concrete slabs. - all drainage underneath buildings to have concrete encasements as approved by engineer.
All water pipes to be class 2 copper
All exposed hot water supply pipes to be lagged in appropriate SABS approved thermal insulation with minimum R-value of 1.0

Windows & Doors

External:
All windows SABS approved powder coated Aluminium framed top-hung open out with clear single glazing. - see window schedule.
All Sliding doors SABS approved powder coated Aluminium framed with appropriate SABS approved laminated SOLARVEU single glazing, comparable with low "E" glazing.
All fenestration and glazing to comply with SANS10400 parts B; N; XA and SANS 204.
ALL OPENINGS LARGER THAN 3,0m TO BE TO ENGINEERS DESIGN

Roof & Ceilings

(min. R-value 3,72)(sqm,K/W)
Fair Black Concrete Shingle Rooftiles (R-value= 0,)
All roof timber to be GRADE 5 SA Pine.
Entire roof, incl roof covering & waterproofing to comply to SANS10400 part L the fire resistance and combustibility of the roof assembly or any ceiling assembly to comply to SANS10400 parts L & T
Aluminium gutters and pvc downpipes to SANS10400 part T.
Ceiling Thermal Insulation properties (3,72req)-total R-value=3,76-comply Gypsum ceilingboards - (R-value = 0,06)
Outdoor Air Film ; (R-value = 0,03)
50mm Iso-therm blanket between battens on top of ceiling (R-value = 1,25)
SABS approved Envirostuf 203 double sided Radiant barrier thermal insulation

Finishes Note

Roof

BLACK SHINGLE Concrete Rooftiles on 38x50mm SAP battens fixed to rafter in line and 38x38mm battens @ 325mm centres on engineers designed
Gangnail trusses and /or Rafter @ 30 degrees, with appropriate insulation
Concrete Slab Roofs - by Engineers design - waterproofing by specialist with SABS approved materials.

Ceiling

Outside - Cladit on top of sprockets - painted White as per HOA
Inside - 6,4mm T&G FC boards fixed to underside of trusses - painted - white

Cornice

Polystyrene - profile by client - painted white (where applicable)

Gutter

Aluminium Seamless rolled - 100x125mm gutter to match roof colour & 75mm dia PVC downpipes and outlets.

Fascia

Fibre Cement Fascia - Painted White

Bricks

Clay Plaster Bricks - min 14Mpa with R-value < 0,35

Paint

SABS approved paint - colour White as per HOA approval.

Walls

External - Smooth plaster & paint - WHITE as per HOA
Internal - Smooth plaster & paint - Colour as per client
All Retaining Wall - by Engineers design

Windows

Aluminium - BLACK Top hung - 30,5mm profile frame
Cills External - Brick on Edge - Plastered and Painted - Colour White as per HOA
Cills Internal - Plastered and Painted - Colour as per client.

Lintels

Prefabricated Pre-stressed concrete lintels with max. overlay.
All openings greater than 3,0m to Engineers design.

Doors

External - Aluminium Framed & Safety glass - Black & Sandblasted glass.
Internal - Semi solid Deep Mould - profile by client - Paint colour - by client
Internal - Solid Class B Fire Door from Garage - Paint colour by client

Door Frames

External - Aluminium - Black to match doors
Internal - 50mm Heavy Duty Hardwood Frame "Swartland" or similar - paint by client

Door Garage

Aluminium Sectional Overhead with remote control - Colour Black

Floors

100mm thick Pre-mix Concrete on min. 250u plastic Underlay - finish as indicated
Filling max 150mm thick layers , compaction more than 300mm to engineers approval

Foundations

Concrete Strip footings as per Engineers design.

Paving

Links Palazzo Cobbles - colour as per HOA.

Stormwater

As shown on Contour Plan & Setting Out Dimensions - to discharge to the satisfaction of the HOA

Cupboards

As per Developer/Client agreement - PC amount allowance

Burglar Alarms

As per recommendation of HOA

Sanitary Ware

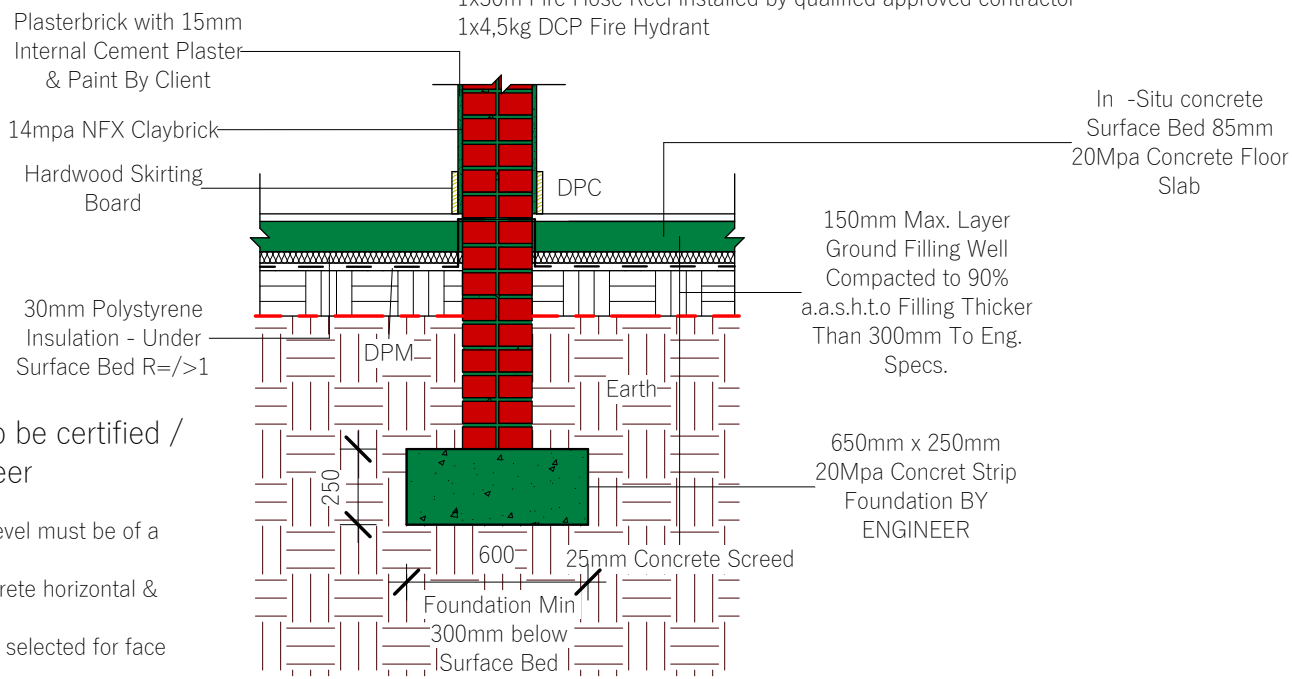
AS per Developer/Client agreement - PC amount allowance

Drainage

As per Layout - White PVC all exposed - hidden where possible

Fire Protection

1x30m Fire Hose Reel installed by qualified approved contractor
1x4,5kg DCP Fire Hydrant



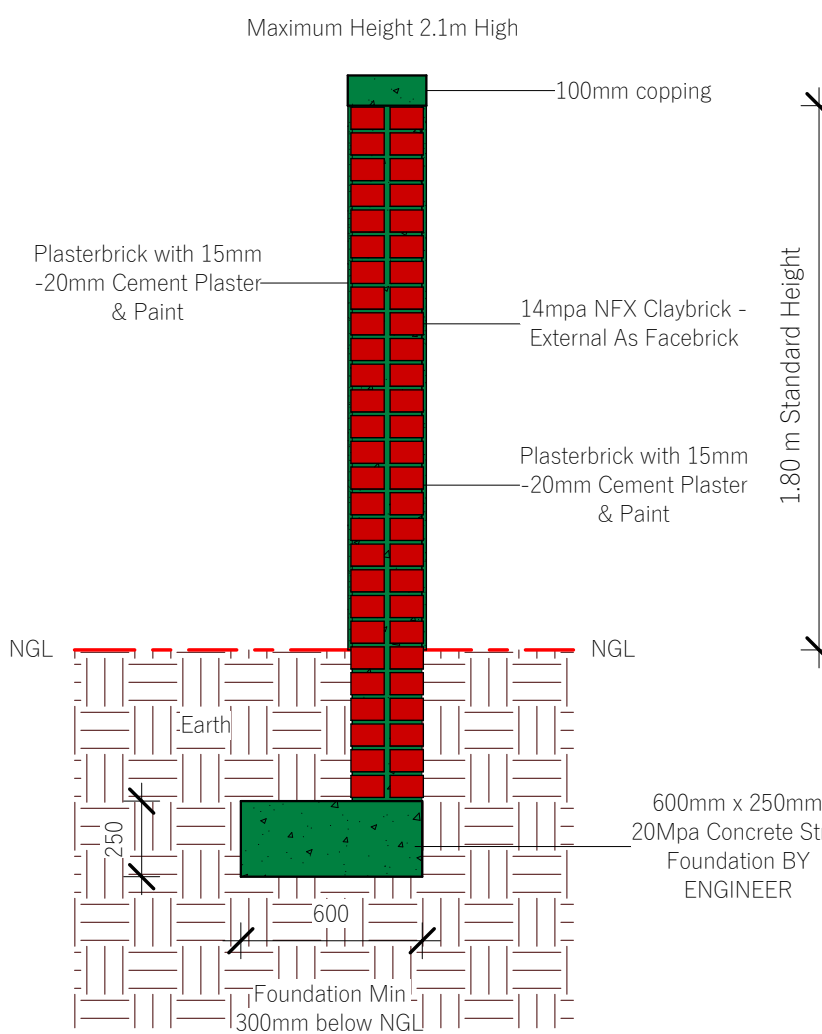
Typical Internal Double Wall Foundation Detail
1 : 25

All specifications to be certified / specified by Engineer

- Bricks below ground level must be of a suitable quality
- Bricks filled with Concrete horizontal & vertical
- External bricks usually selected for face appearance

All specifications to be certified / specified by Engineer

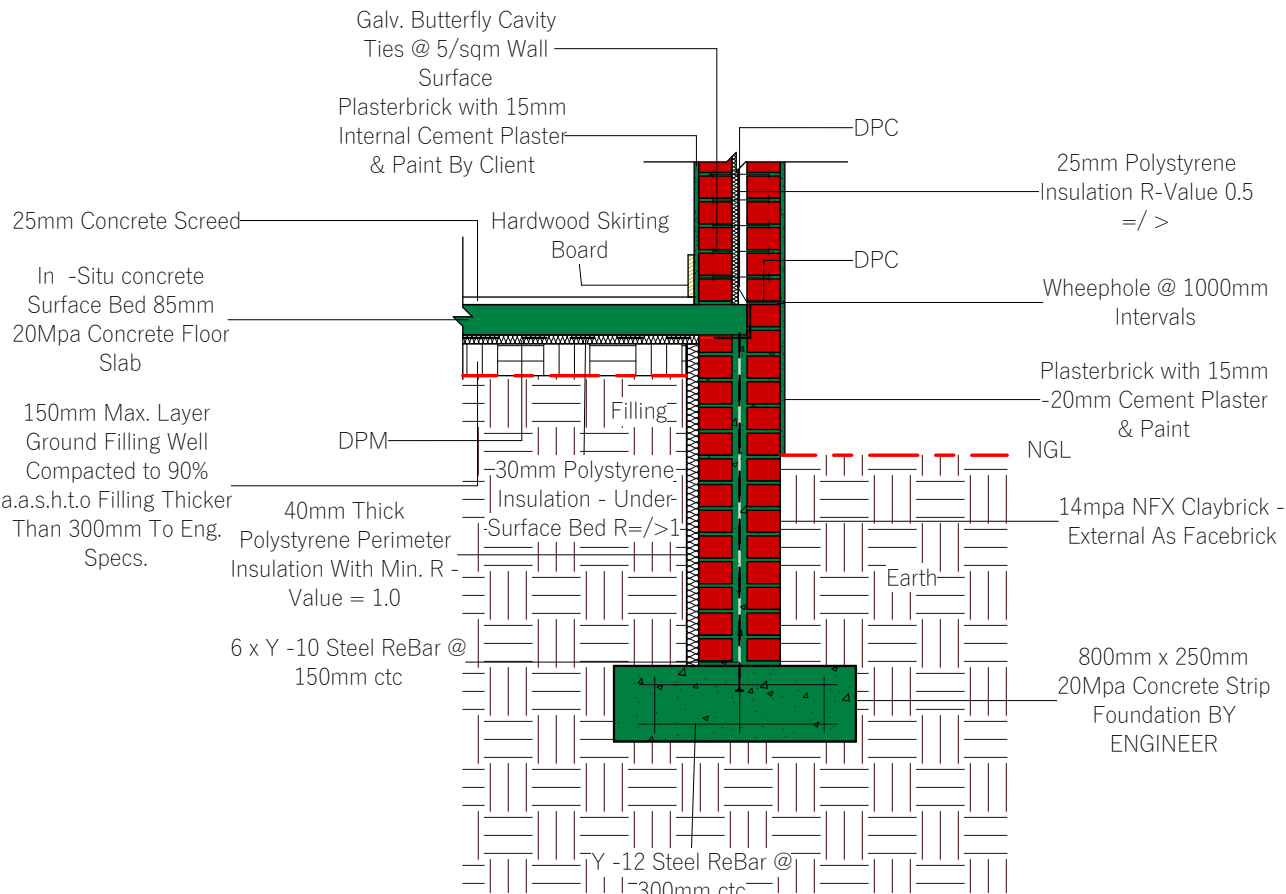
- Bricks below ground level must be of a suitable quality
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- External bricks usually selected for face appearance



Typical Boundary Wall Non Encroaching Detail
1 : 25

All specifications to be certified / specified by Engineer

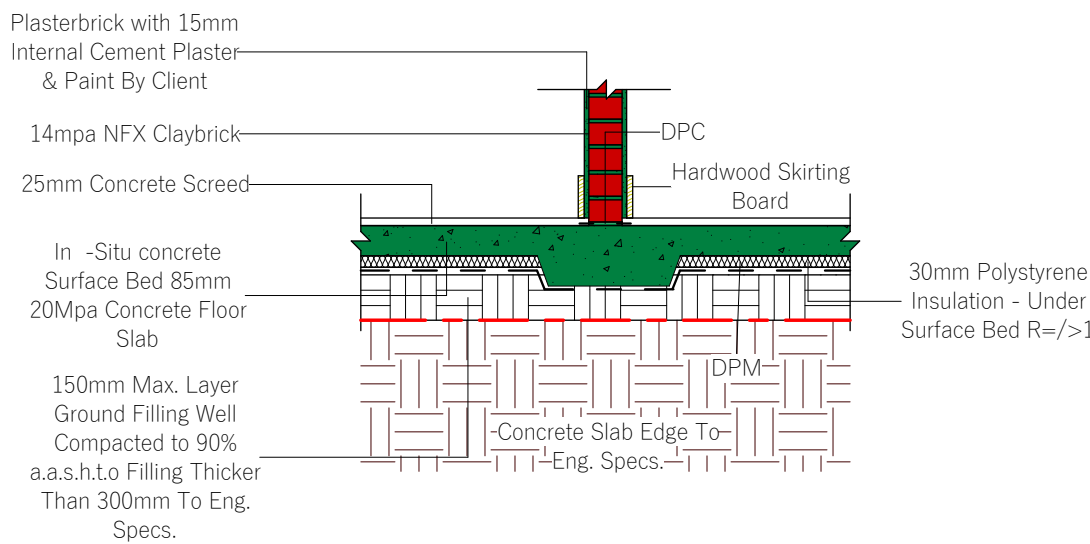
- Bricks below ground level must be of a suitable quality
- Bricks filled with Concrete horizontal & vertical
- External bricks usually selected for face appearance



Typical Cavity Wall Foundation Detail
1 : 25

All specifications to be certified / specified by Engineer

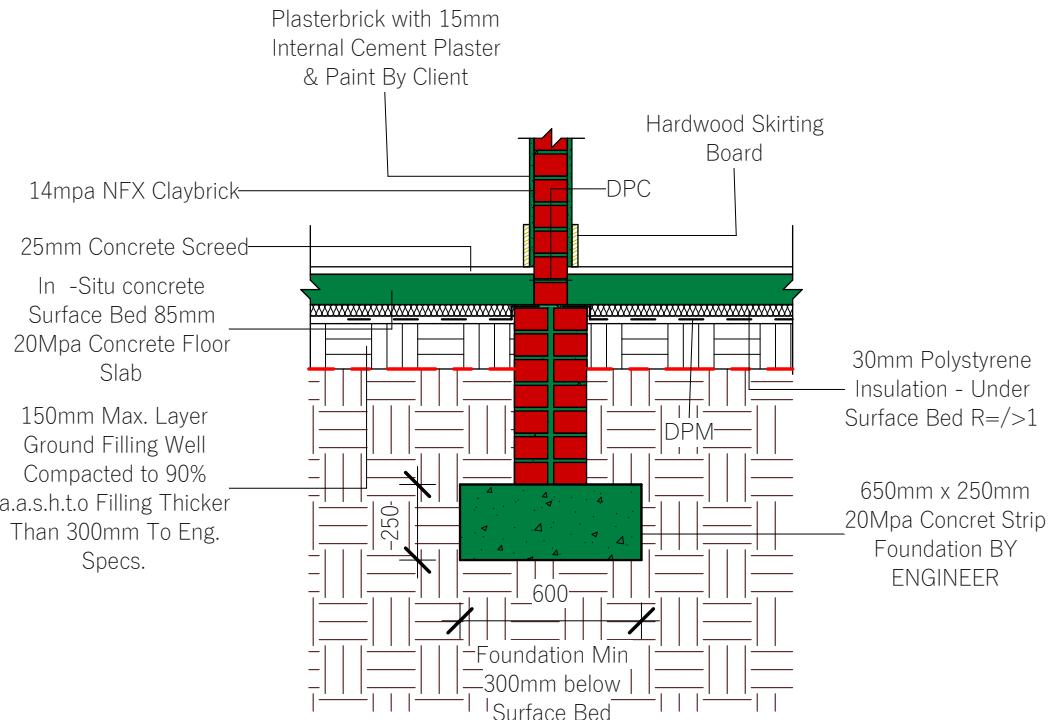
- Bricks below ground level must be of a suitable quality
- Bricks filled with Concrete horizontal & vertical
- External bricks usually selected for face appearance



Typical Non -Load Bearing Single Wall Foundation Detail
1 : 25

All specifications to be certified / specified by Engineer

- Bricks below ground level must be of a suitable quality
- Bricks filled with Concrete horizontal & vertical
- External bricks usually selected for face appearance

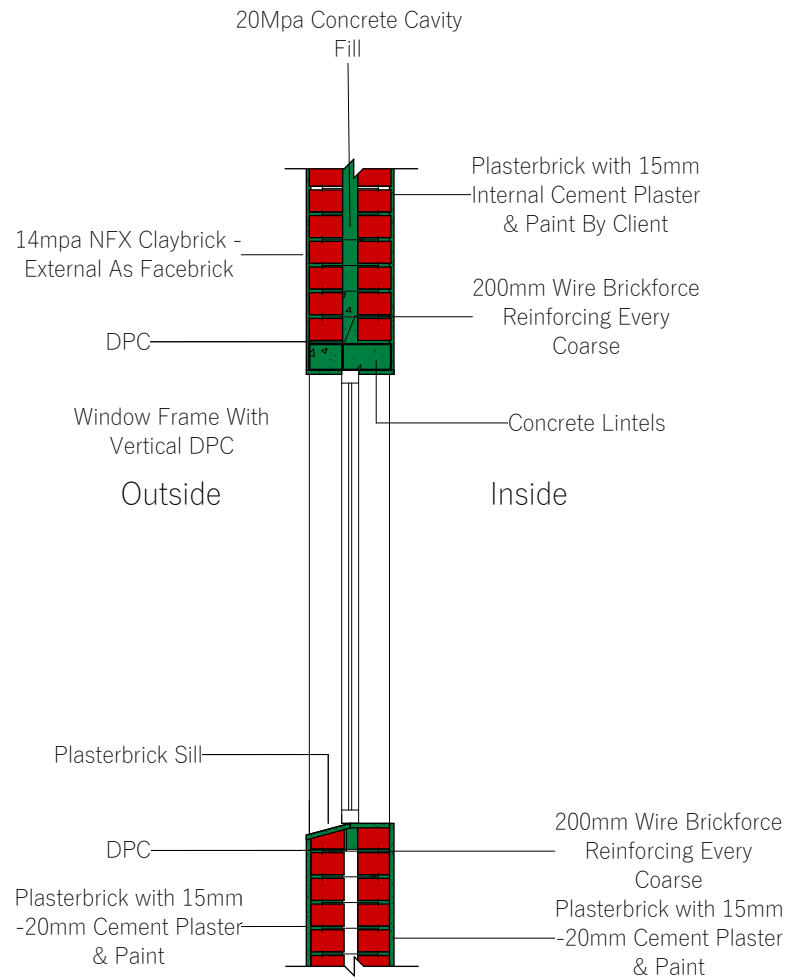


Typical Internal Single Wall Foundation Detail
1 : 25

- Bricks below ground level must be of a suitable quality
- Bricks filled with Concrete horizontal & vertical
- External bricks usually selected for face appearance

All specifications to be certified / specified by Engineer

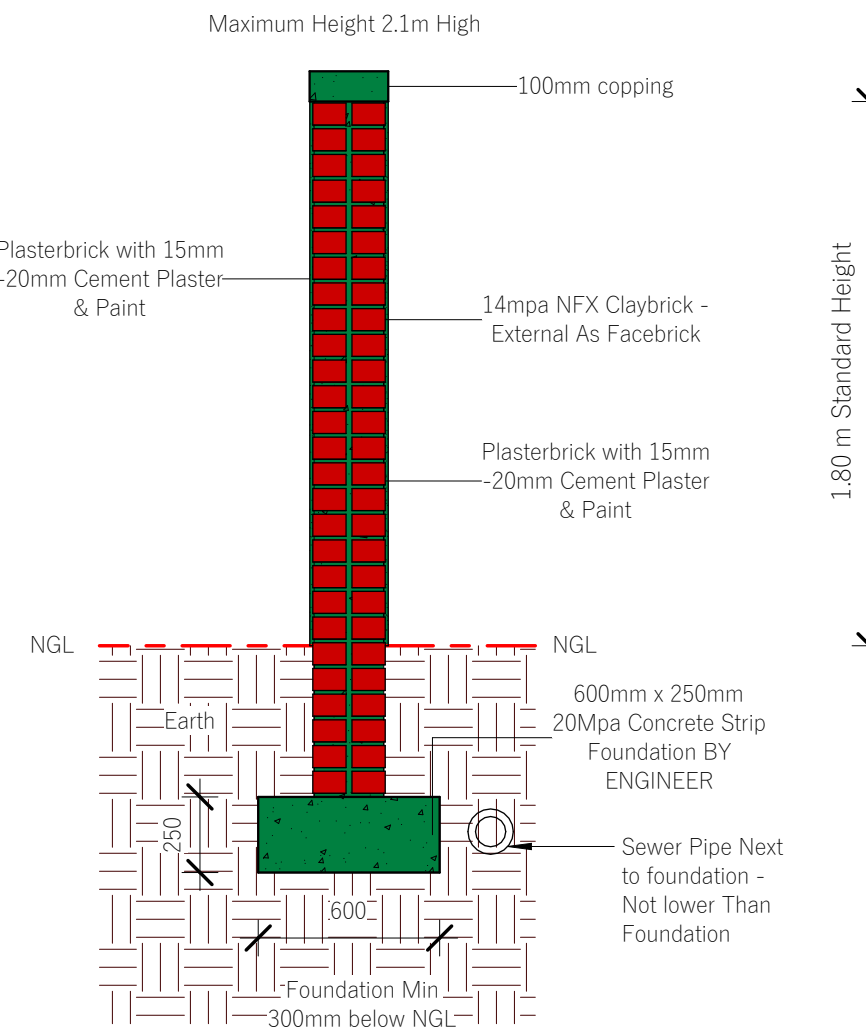
ALL OPENINGS LARGER THAN 3M TO BE TO ENGINEERS DESIGN AND SPECIFICATIONS



Typical Window / Opening Detail
1 : 25

All specifications to be certified / specified by Engineer

- Bricks below ground level must be of a suitable quality
- Bricks filled with Concrete horizontal & vertical
- External bricks usually selected for face appearance



Typical Screen Wall Detail
1 : 25

KOUGA MUNICIPAL STAMP

Homestead Views
Home Owners Association & Aesthetics
Committee
CONDITIONALLY APPROVED
21/07/2023
HBezuidenhout
HSV HOA
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all timber to be treated to SABS specs 1228 of 1994

Space Heating
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SHEET DESCRIPTION
Specifications & Details

PROPERTY OWNER / AUTHORIZED AGENT The Lifestyle Village (Pty) Ltd	CLIENTS APPROVAL SIGNATURE <i>HBezuidenhout</i>
PROJECT ADDRESS Unit 36 Homestead Drive Sea Vista St Francis Eastern Cape South Africa	ERF/HOLDING/PORTION ERF 3900 PLAN NUMBER ???
NATURE OF PROJECT Proposed New Dwelling	DATE 21/07/2023
DRAWN J.H	DESIGNED H.B
CHECKED BY H.B	SCALE As indicated

hennie bezuidenhout
UNIT NO.1 - VASCO BUILDING
111 DA GAMA ROAD
Jeffrey's Bay
cell: 082 553 61583
email: henniearch3@hotmail.com

Architectural
Project Management Services
S.A.C.A.P.S.A Reg. no ST 1414
Date: 21/07/2023
Signature: *HBezuidenhout*

PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST
HENNIE HENNIE BEZUIDENHOUT
11:50 AM (Africa/Johannesburg) on 03 Mar 2023

Professional Indemnity Insurance:
Stalker Hutchison Admiral (Pty) Ltd
Policy No. 7000/146176 SHA