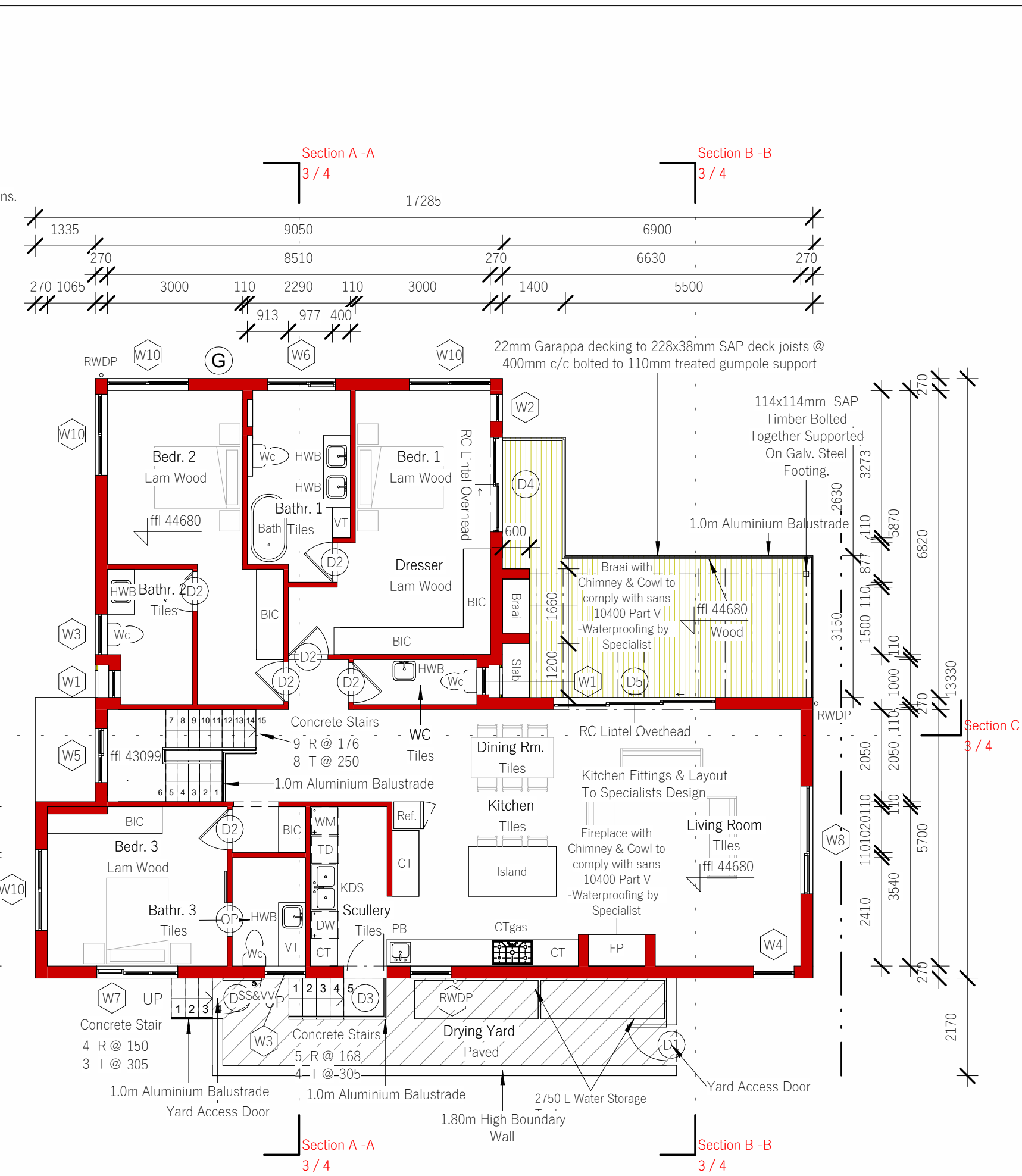


**IMPORTANT WALL NOTE:**  
Walls More Than 5m To Engineers Specifications

**IMPORTANT TAG NOTE:**  
For Plumbing Fixtures, Electrical / Gas Appliances & Casework Fittings Descriptions. Refer To Legends

**IMPORTANT CASEWORK NOTE:**  
Casework Fittings & Layout To Specialists Design & Clients Choice



**SCHEDULE OF RIGHTS**

|                      |                                        |
|----------------------|----------------------------------------|
| ERF NUMBER           | 3896                                   |
| TOWNSHIP             | Homestead Drive, Sea Vista, St Francis |
| STREET NUMBER & NAME | Unit Number 32                         |
| SITE AREA            | 389m <sup>2</sup>                      |
| USE ZONE             | Use Zone 1 : Residential               |
| PARKING REQUIREMENT  | 2 Parking Bays per Unit                |
| HEIGHT RESTRICTION   | 8.5m                                   |
| FAR                  | 45.68                                  |

**Floor Areas**

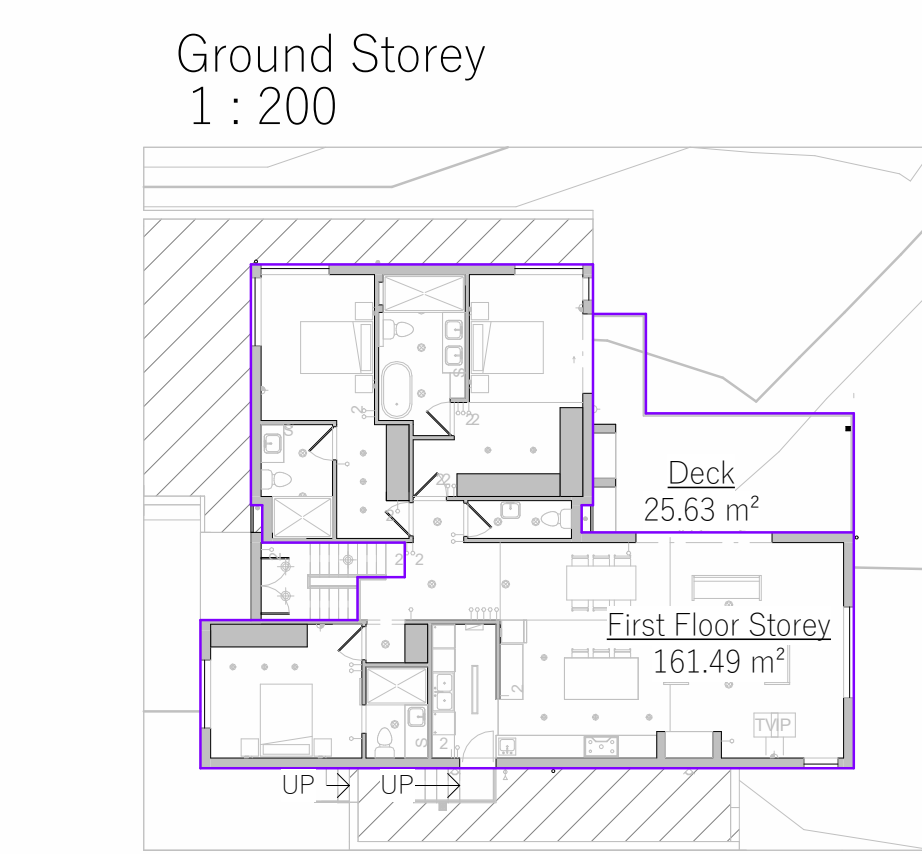
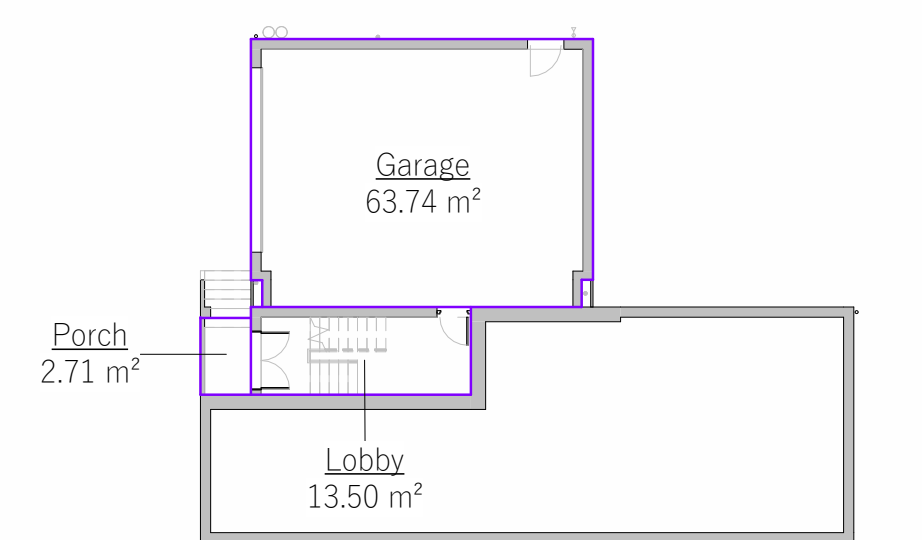
|                  |                      |
|------------------|----------------------|
| GROUND STOREY    | 79.95m <sup>2</sup>  |
| Ground Floor     | 13.50m <sup>2</sup>  |
| Covered Porch    | 2.71m <sup>2</sup>   |
| Garage           | 63.74m <sup>2</sup>  |
| FIRST STOREY     | 186.63m <sup>2</sup> |
| Deck             | 25.63m <sup>2</sup>  |
| First Floor      | 161.49m <sup>2</sup> |
| TOTAL FLOOR AREA | 266.58m <sup>2</sup> |

**Coverage**

|                       |                              |
|-----------------------|------------------------------|
| Proposed New Dwelling | 195.16m <sup>2</sup> ( 50% ) |
|-----------------------|------------------------------|

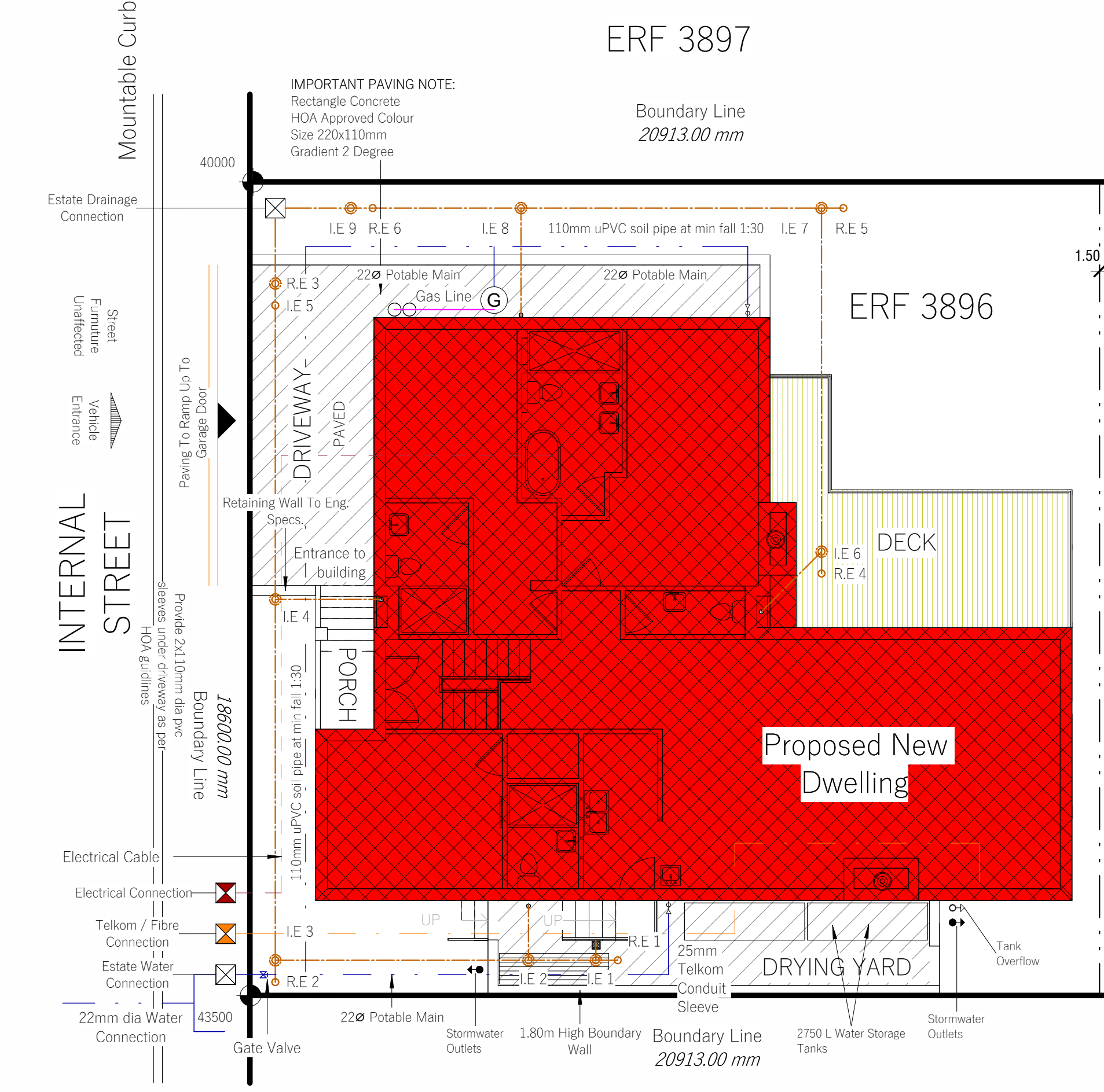
**Gross Floor Area**

|                        |                      |
|------------------------|----------------------|
| GROUND STOREY          | 16.21m <sup>2</sup>  |
| Ground Floor           | 13.50m <sup>2</sup>  |
| Covered Porch          | 2.71m <sup>2</sup>   |
| FIRST STOREY           | 161.49m <sup>2</sup> |
| First Floor            | 161.49m <sup>2</sup> |
| TOTAL GROSS FLOOR AREA | 177.7m <sup>2</sup>  |



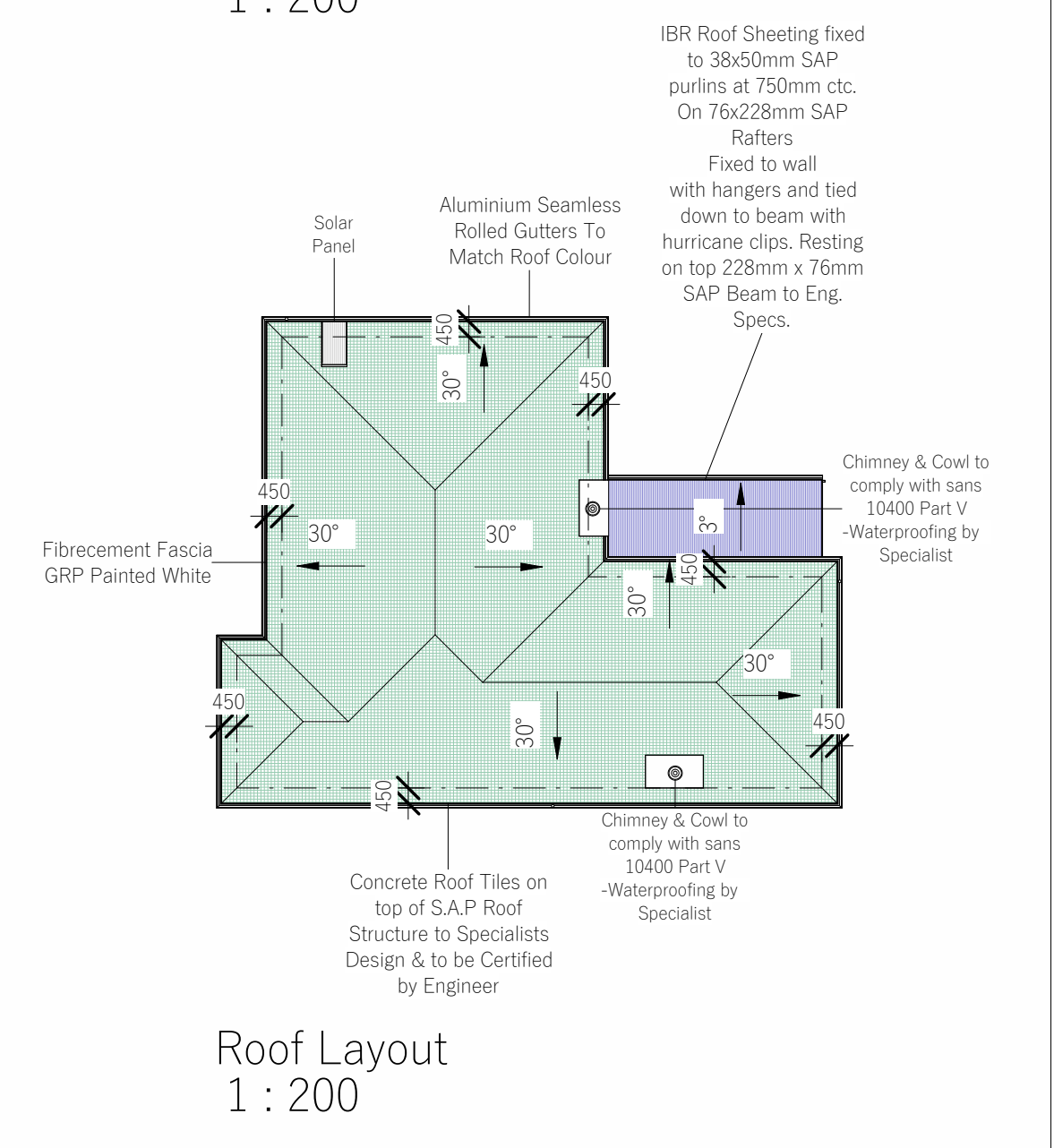
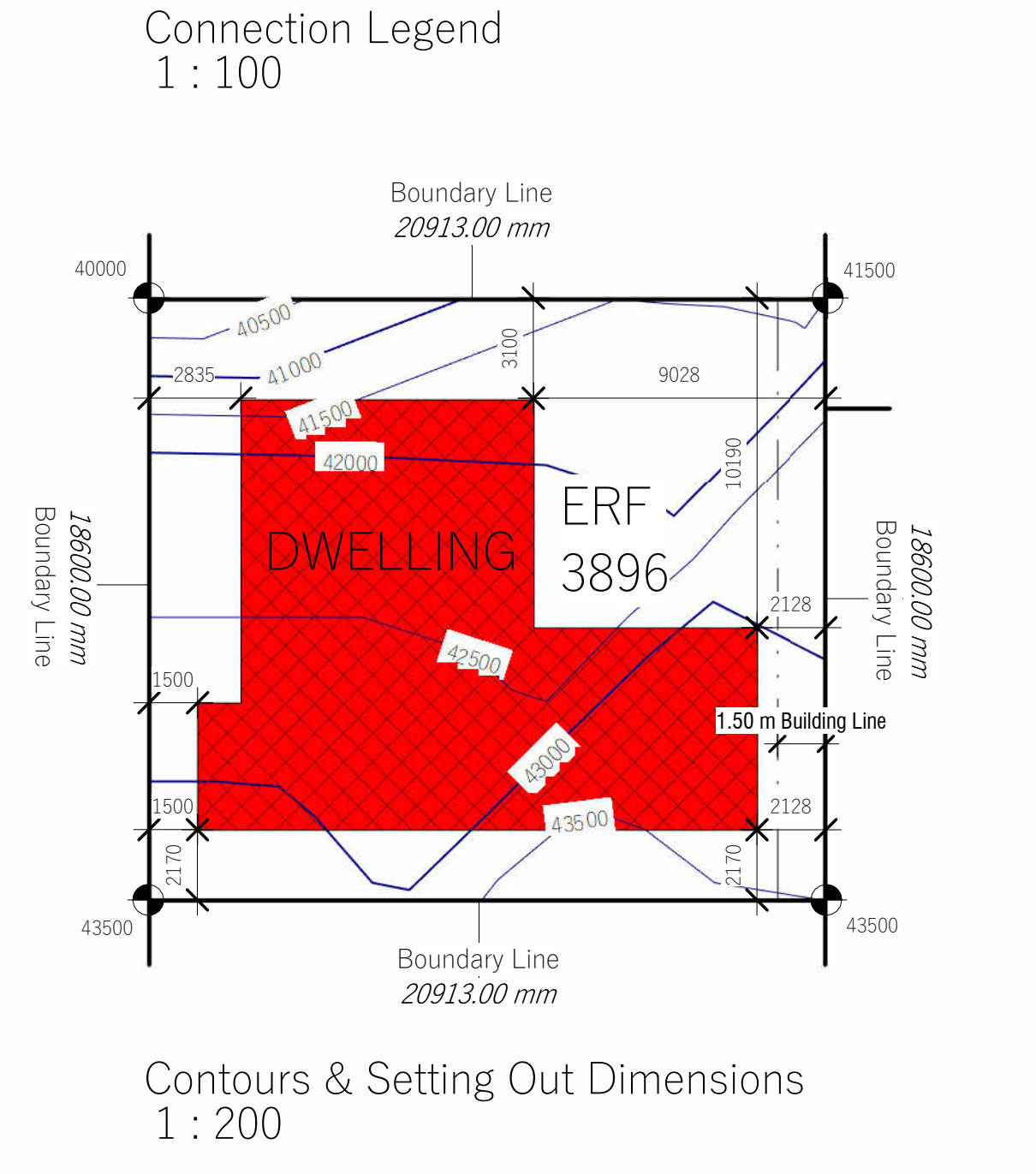
**Connection Legend**  
1 : 100

| Symbol | Description    | Symbol | Description           |
|--------|----------------|--------|-----------------------|
| ■      | Catchpit       | ⊗      | Gate Valve            |
| ⊠      | Gas Connection | ⊕      | Water Meter           |
| ⊙      | Manhole        | ⊞      | Electrical Connection |
| ⊚      | Utility Pole   | ⊕      | Inspection Eye        |
| ⊛      | Telephone Pole | ⊕      | Rodding Eye           |
| ●      | Street Lamp    | ⊞      | Sewer Connection      |



**IMPORTANT TANK NOTE:**  
To discharge on to lawn shaped away from dwellings to soak-a-way naturally

**STORMWATER MANAGEMENT NOTE:**  
Stormwater to run over lawn and paving over verge naturally into street stormwater system to the satisfaction of Engineer



KOUGA MUNICIPAL STAMP

**Homestead Views**  
Home Owners Association & Aesthetics Committee

**CONDITIONALLY APPROVED**  
11/08/2023

HSV HOA  
Subject to Local Municipal Authority Approval

All work to be done and all materials to be used have to comply with SANS10400 regulations

Part A - General Principles  
Part B - Structural Design  
Part C - Dimensions  
Part D - Public Safety  
Part E - Demolition work  
Part F - Site Operations  
Part G - Excavations  
Part H - Foundations  
Part J - Floors  
Part K - Walls  
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Part O - Lighting Ventilation  
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Part Q - Non Water Borne Sanitation  
Part R - Storm Water  
Part S - Disabled  
Part T - Fire Protection  
Part U - Refuse Disposal  
Part V - Space Heating  
Part W - Fire Installations  
Part X - Energy

Energy Efficiency Supplement Documents as per SANS10400 forms part of this set of drawings and specification should be read in conjunction with this documentation's.

All requirements of municipal and other authorities concerned have to be adhered to. Contractors and Sub-contractors are to check all dimensions and levels on building site before commencing with any work. Figured dimensions to be taken in preference to scaled measurements and large scale details supersedes small scale drawings. The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him.

Lighting & Energy Usage:  
all fluorescent light fittings to be SABS approved 11W LED  
all other light fittings to min. SABS approved 5W LED with 50W output.

Timber  
all timber work to comply with SABS standards 082 : 0137 : 0400  
all timber to be treated to SABS specs 1228 of 1994

Space Heating  
provision of space heating to comply with SANS10400 part V - where applicable

The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him.

**SHEET DESCRIPTION**  
Site Plan, Floor Plans, Contours & Setting Out Dimensions, Roof Layout, Schedule of Rights, Area Plans

PROPERTY OWNER / AUTHORIZED AGENT  
The Lifestyle Village (Pty) Ltd

CLIENTS APPROVAL SIGNATURE

PROJECT ADDRESS  
Unit 32  
Homestead Drive  
Sea Vista  
St Francis  
Eastern Cape  
South Africa

ERF/HOLDING/PORTION  
ERF 3896

PLAN NUMBER  
???

NATURE OF PROJECT  
PROPOSED NEW DWELLING

DATE  
11/08/2023

DRAWN  
J.H

DESIGNED  
H.B

CHECKED BY  
H.B

SCALE  
As indicated

**Hennie Bezuidenhout**  
Architectural Project Management Services  
S.A.C.A.P.S.A Reg. no ST 1414  
111 DA GAMA ROAD  
Jeffrey's Bay  
cell: 082 553 61583  
email : henniearch3@hotmail.com

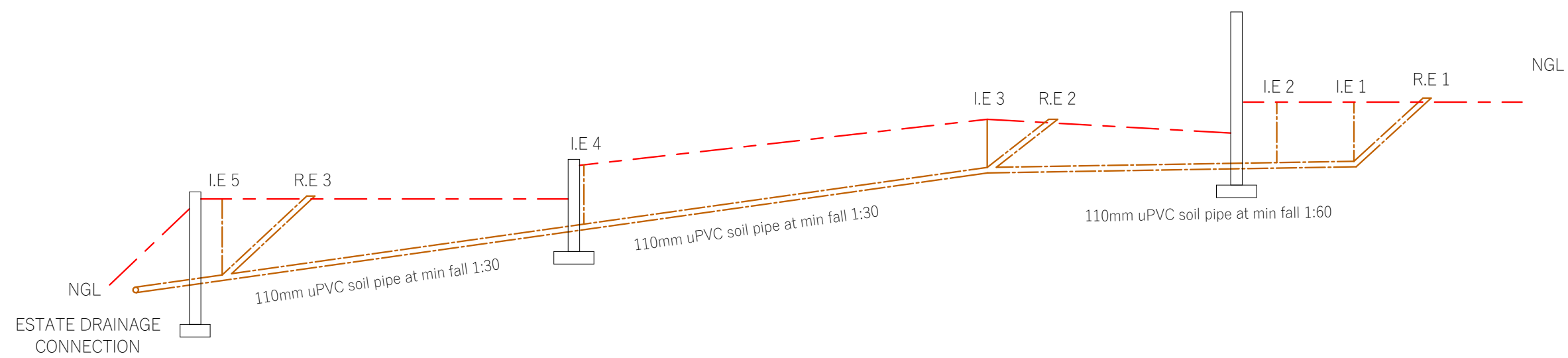
Date: 11/08/2023  
Signature: HBezuidenhout

PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST  
**HENNIE HENNIE BEZUIDENHOUT**

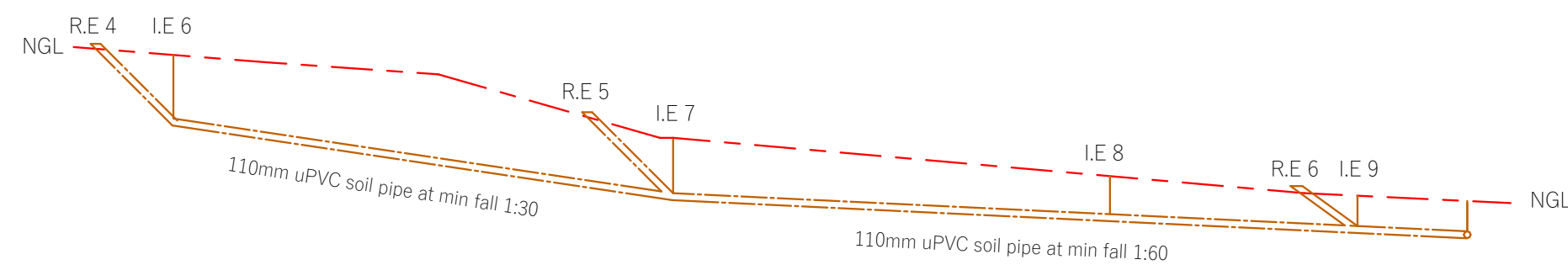
11:58 AM (Africa/Johannesburg) on 03 Mar 2023

Professional Indemnity Insurance:  
Stalker Hutchison Admiral (Pty) Ltd  
Policy No. 7000/146176 SHA





|              |       |       |       |       |       |
|--------------|-------|-------|-------|-------|-------|
| Cover Level  | 40564 | 41790 | 43379 | 43670 | 43670 |
| Invert Level | 39922 | 40161 | 42310 | 42405 | 42432 |
| Depth        | 655   | 1628  | 1070  | 1265  | 1238  |
| Distance     | 1710  |       | 15270 | 5780  | 1540  |
| Fall         | 1:30  |       | 1:30  | 1:60  | 1:60  |

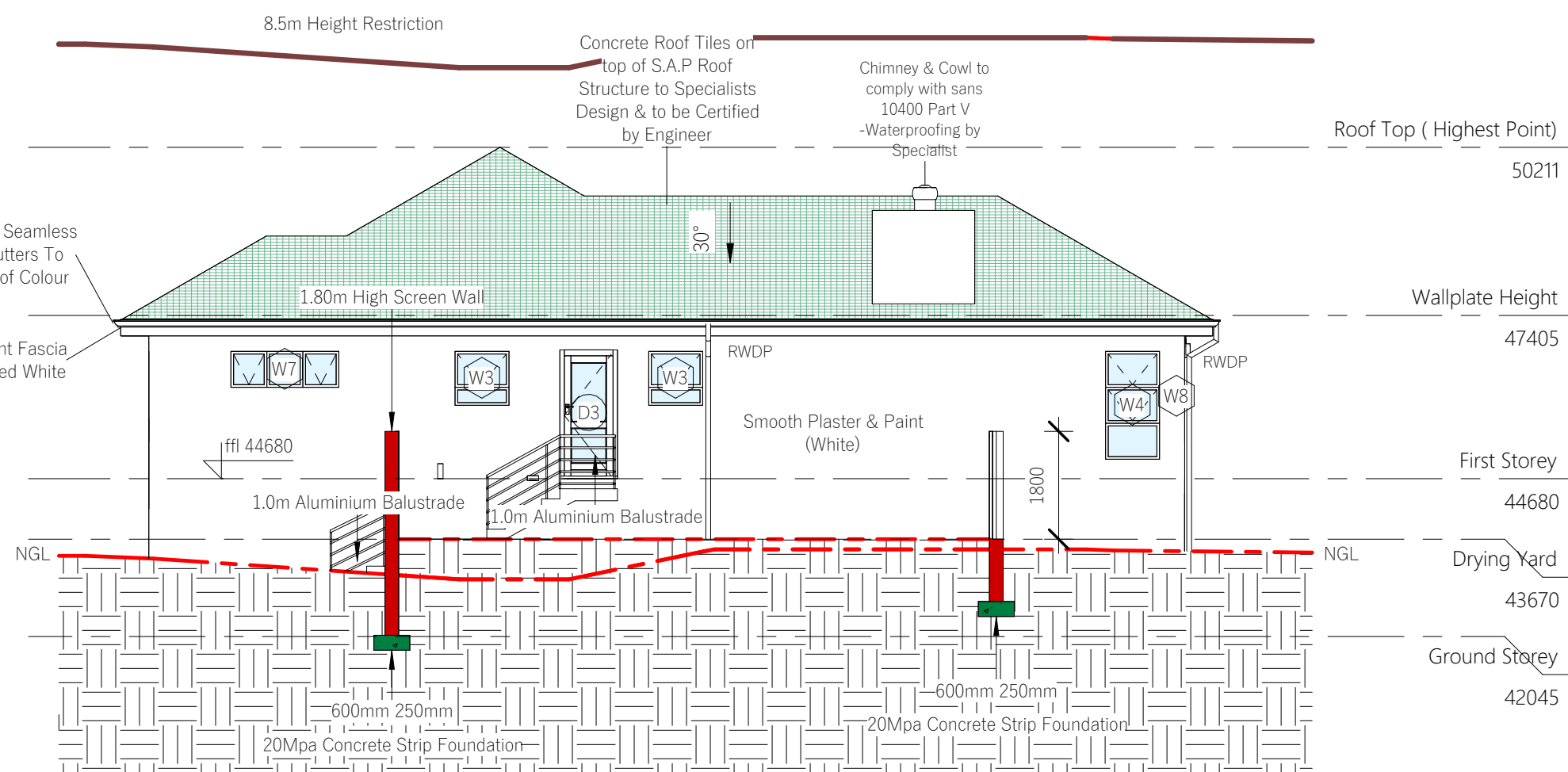


|              |       |       |       |       |       |
|--------------|-------|-------|-------|-------|-------|
| Cover Level  | 42804 | 41500 | 40897 | 40580 | 40564 |
| Invert Level | 41804 | 40630 | 40190 | 40004 | 39922 |
| Depth        | 655   | 979   | 708   | 576   | 655   |
| Distance     |       | 7854  | 6866  | 3890  | 1725  |
| Fall         |       | 1:30  | 1:60  | 1:60  | 1:60  |

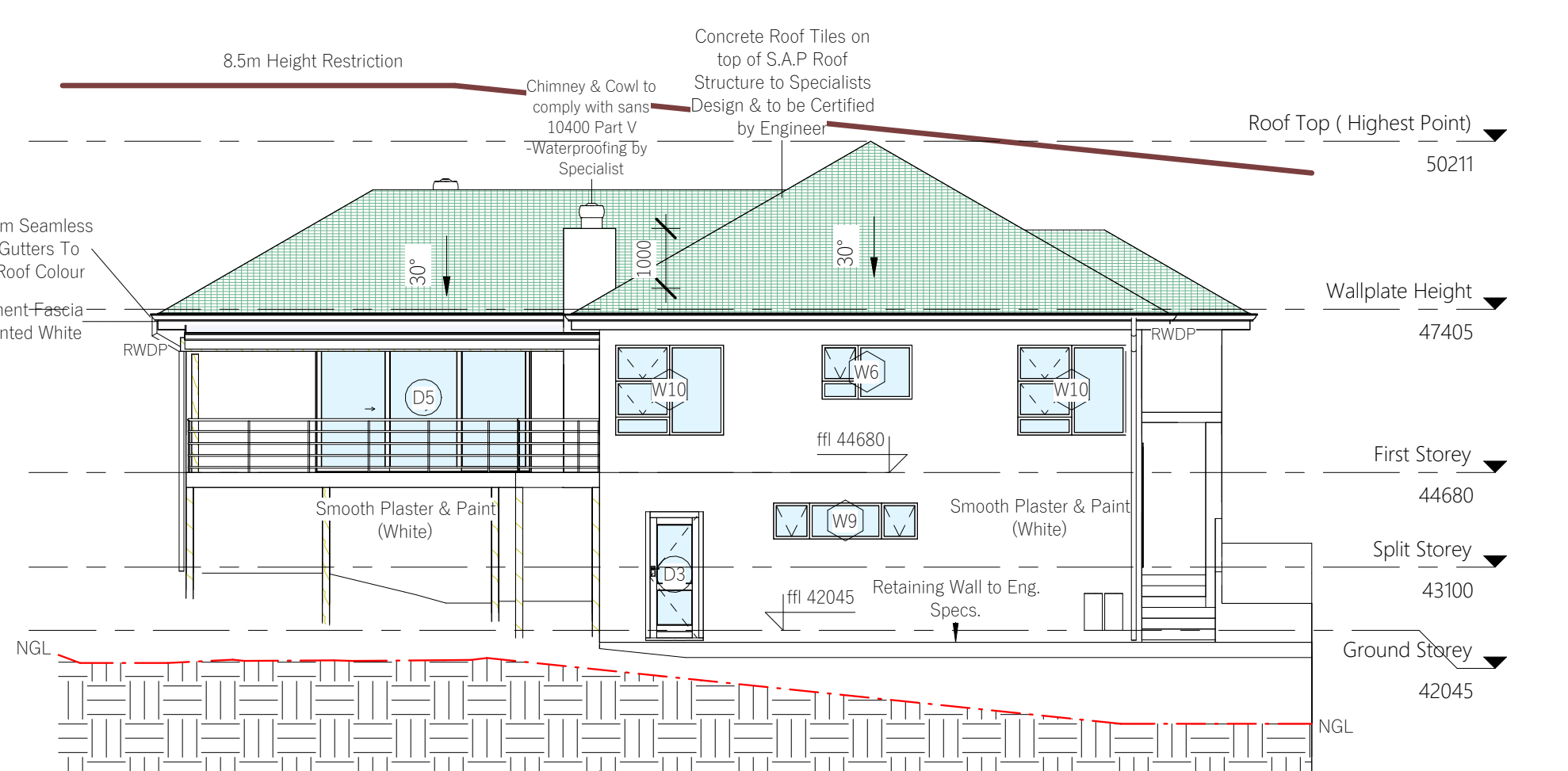
| Number         | W1                       | Number         | W2                           | Number         | W3                             | Number         | W4                       | Number         | W5                       |
|----------------|--------------------------|----------------|------------------------------|----------------|--------------------------------|----------------|--------------------------|----------------|--------------------------|
| Dimensions     | 600w x 900h              | Dimensions     | 600w x 1500h                 | Dimensions     | 900w x 900h                    | Dimensions     | 900w x 1800h             | Dimensions     | 900w x 1200h             |
| Elevation      |                          | Elevation      |                              | Elevation      |                                | Elevation      |                          | Elevation      |                          |
| Type           | Top Hung                 | Type           | Top Hung                     | Type           | Top Hung                       | Type           | Top Hung                 | Type           | Top Hung                 |
| Frame Material | Aluminium - Powdercoated | Frame Material | Aluminium - Powdercoated     | Frame Material | Aluminium - Powdercoated       | Frame Material | Aluminium - Powdercoated | Frame Material | Aluminium - Powdercoated |
| Colour         | Charcoal - Matt          | Colour         | Charcoal - Matt              | Colour         | Charcoal - Matt                | Colour         | Charcoal - Matt          | Colour         | Charcoal - Matt          |
| Ironmongery    | To Clients Choice        | Ironmongery    | To Clients Choice            | Ironmongery    | To Clients Choice              | Ironmongery    | To Clients Choice        | Ironmongery    | To Clients Choice        |
| Glazing        | Single Clear - Safety    | Glazing        | Single Clear - Safety        | Glazing        | Single Clear - Safety          | Glazing        | Single Clear - Safety    | Glazing        | Single Clear - Safety    |
| Number         | W6                       | Number         | W7                           | Number         | W8                             | Number         | W9                       | Number         | W10                      |
| Dimensions     | 1500w x 900h             | Dimensions     | 1500w x 600h                 | Dimensions     | 2400w x 1500h                  | Dimensions     | 2400w x 600h             | Dimensions     | 1800w x 1500h            |
| Elevation      |                          | Elevation      |                              | Elevation      |                                | Elevation      |                          | Elevation      |                          |
| Type           | Top Hung                 | Type           | Top Hung                     | Type           | Top Hung                       | Type           | Top Hung                 | Type           | Top Hung                 |
| Frame Material | Aluminium - Powdercoated | Frame Material | Aluminium - Powdercoated     | Frame Material | Aluminium - Powdercoated       | Frame Material | Aluminium - Powdercoated | Frame Material | Aluminium - Powdercoated |
| Colour         | Charcoal - Matt          | Colour         | Charcoal - Matt              | Colour         | Charcoal - Matt                | Colour         | Charcoal - Matt          | Colour         | Charcoal - Matt          |
| Ironmongery    | To Clients Choice        | Ironmongery    | To Clients Choice            | Ironmongery    | To Clients Choice              | Ironmongery    | To Clients Choice        | Ironmongery    | To Clients Choice        |
| Glazing        | Single Clear - Safety    | Glazing        | Single Clear - Safety        | Glazing        | Single Clear - Safety          | Glazing        | Single Clear - Safety    | Glazing        | Single Clear - Safety    |
| Number         | D1                       | Number         | D2                           | Number         | D3                             | Number         | D4                       | Number         | D5                       |
| Dimensions     | 900w x 1800h             | Dimensions     | 891w x 2096h                 | Dimensions     | 891w x 2096h                   | Dimensions     | 2100w x 2125h            | Dimensions     | 3600 x 2125h             |
| Elevation      |                          | Elevation      |                              | Elevation      |                                | Elevation      |                          | Elevation      |                          |
| Type           | Drying Yard Access Door  | Type           | MDF Horizontal               | Type           | SD20                           | Type           | Sliding Door             | Type           | Sliding Door             |
| Frame Material | Galv. Steel              | Frame Material | Refer To Swartland Codes     | Frame Material | Refer To Swartland Codes       | Frame Material | Aluminium - Powdercoated | Frame Material | Aluminium - Powdercoated |
| Colour         | White                    | Colour         | White                        | Colour         | To Owners Choice               | Colour         | Charcoal - Matt          | Colour         | Charcoal - Matt          |
| Ironmongery    | To Owners Choice         | Ironmongery    | To Owners Choice             | Ironmongery    | To Owners Choice               | Ironmongery    | To Clients Choice        | Ironmongery    | To Clients Choice        |
| Glazing        | Handiplank Cladding      | Glazing        | Refer To Swartland Codes     | Glazing        | Single Low E - Safety Glass    | Glazing        | Single Clear - Safety    | Glazing        | Single Clear - Safety    |
| Number         | D6                       | Number         | D7                           | Number         | D8                             |                |                          |                |                          |
| Dimensions     | 1550w x 2125h            | Dimensions     | 897w x 2101h                 | Dimensions     | 4880w x 2130h                  |                |                          |                |                          |
| Elevation      |                          | Elevation      |                              | Elevation      |                                |                |                          |                |                          |
| Type           | Front Door               | Type           | 30min Class E Fire Door Leaf | Type           | Sectional Overhead Garage Door |                |                          |                |                          |
| Frame Material | Aluminium - Powdercoated | Frame Material | Refer To Swartland Codes     | Frame Material | Steel Galvanized               |                |                          |                |                          |
| Colour         | Charcoal - Matt          | Colour         | White                        | Colour         | Matt Charcoal                  |                |                          |                |                          |
| Ironmongery    | To Clients Choice        | Ironmongery    | To Owners Choice             | Ironmongery    | To Owners Choice               |                |                          |                |                          |
| Glazing        | Single Clear - Safety    | Glazing        | Refer To Swartland Codes     | Glazing        | Powdercoated Aluminium         |                |                          |                |                          |

| Door Schedule | Window Schedule |
|---------------|-----------------|
| Door Type     | Window Type     |
| D1            | W1              |
| D1            | W1              |
| D1: 2         | W1: 2           |
| D2            | W2              |
| D2            | W2: 1           |
| D2            | W3              |
| D2            | W3              |
| D2            | W3: 3           |
| D2: 6         | W4              |
| D3            | W4: 1           |
| D3            | W5              |
| D3: 2         | W5: 1           |
| D4            | W6              |
| D4: 1         | W6: 1           |
| D5            | W7              |
| D5: 1         | W7: 1           |
| D6            | W8              |
| D6: 1         | W8: 1           |
| D7            | W9              |
| D7: 1         | W9: 1           |
| D8            | W10             |
| D8: 1         | W10             |
|               | W10: 4          |

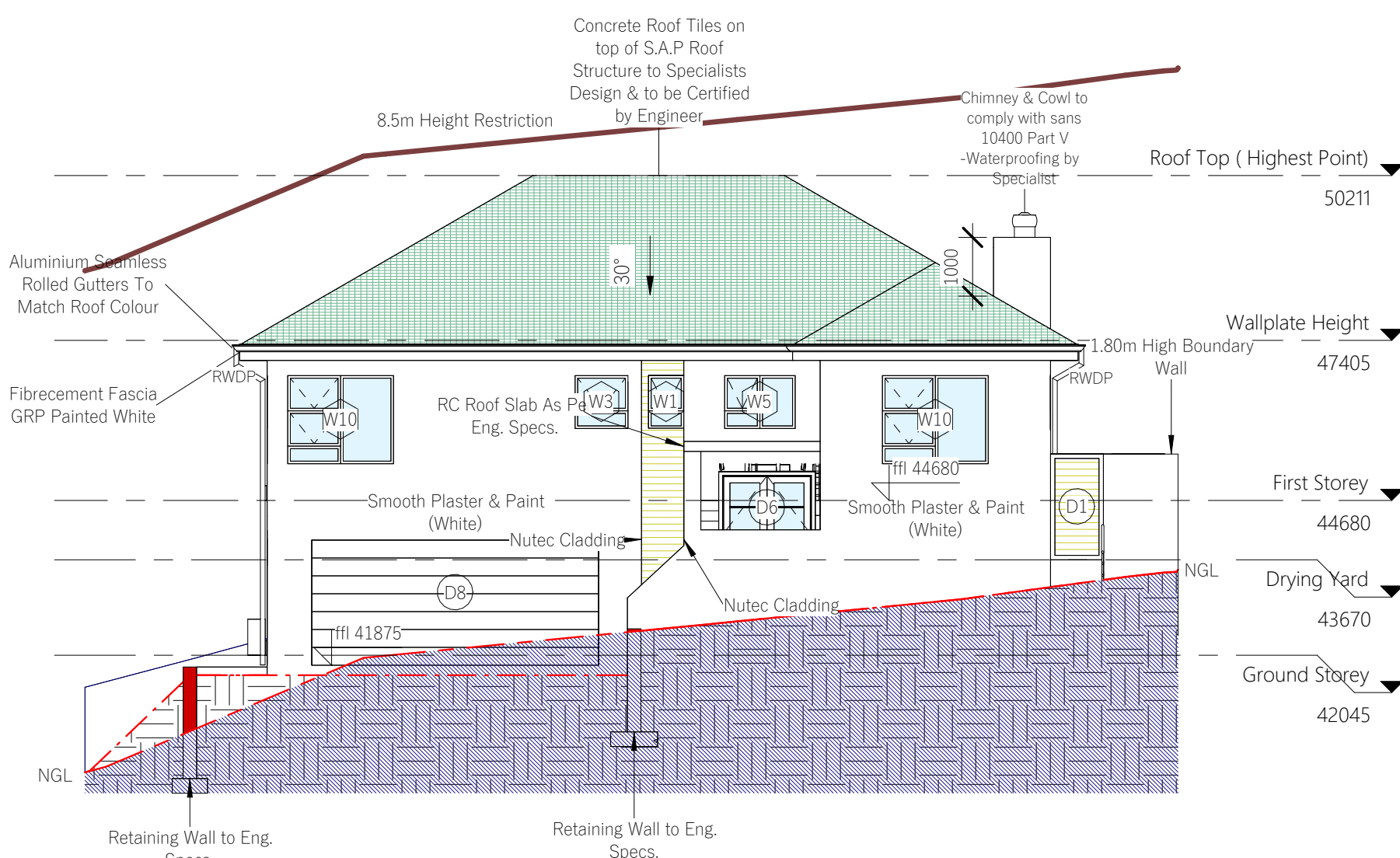
Window & Door Legend  
1 : 200



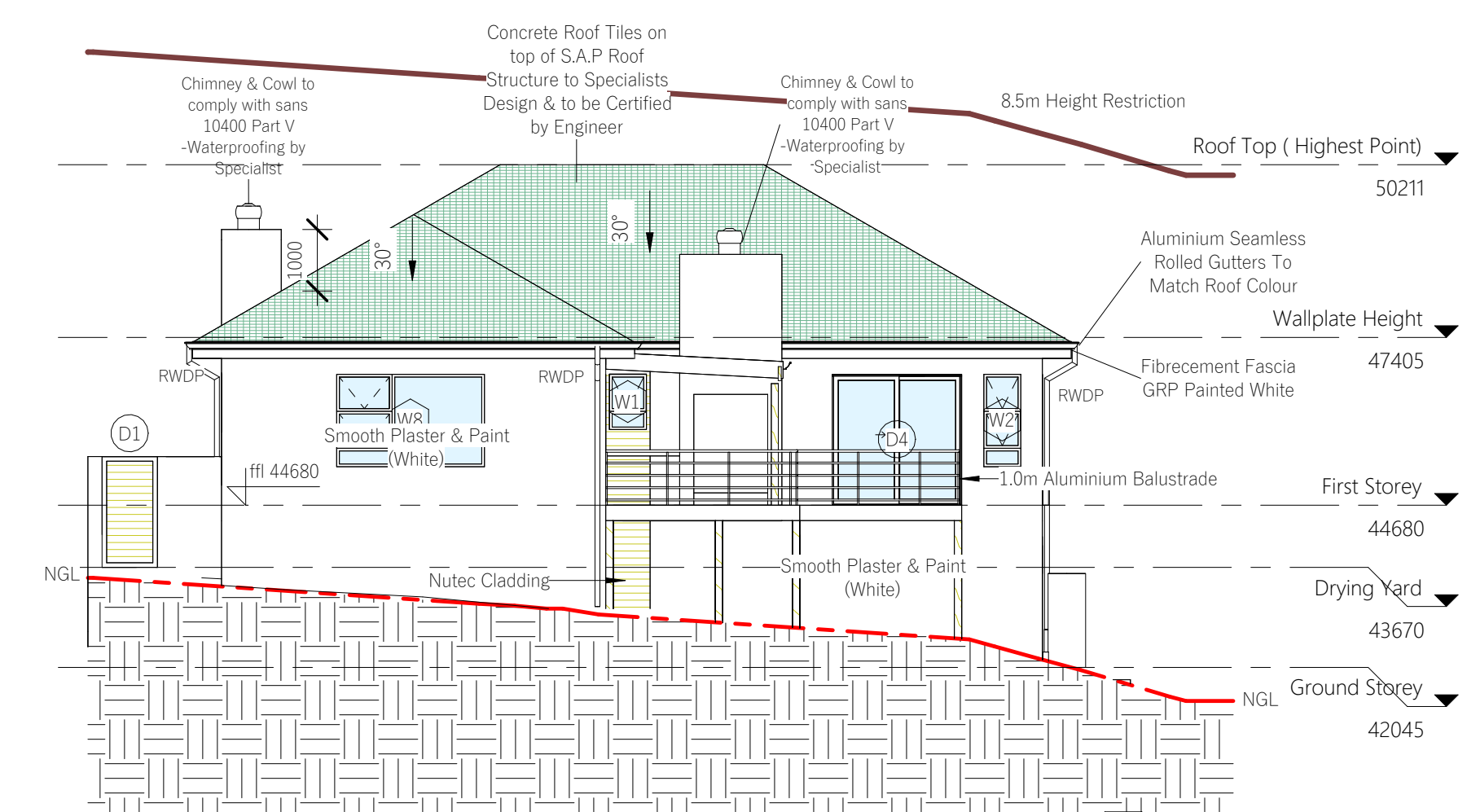
South Elevation  
1 : 100



North Elevation  
1 : 100



West Elevation  
1 : 100



East Elevation  
1 : 100

KOUGA MUNICIPAL STAMP

**Homestead Views**  
Home Owners Association & Aesthetics  
Committee

**CONDITIONALLY APPROVED**  
11/08/2023  
*HBezuidenhout*  
HSV HOA HSV HOA  
Subject to Local Municipal Authority  
Approval

All work to be done and all materials to be used have to comply with SANS10400 regulations

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all timber to be treated to SABS specs 1228 of 1994

Space Heating  
provision of space heating to comply with SANS10400 part V - where applicable

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SHEET DESCRIPTION  
Elevations, Door & Window Legend & Drainage Section

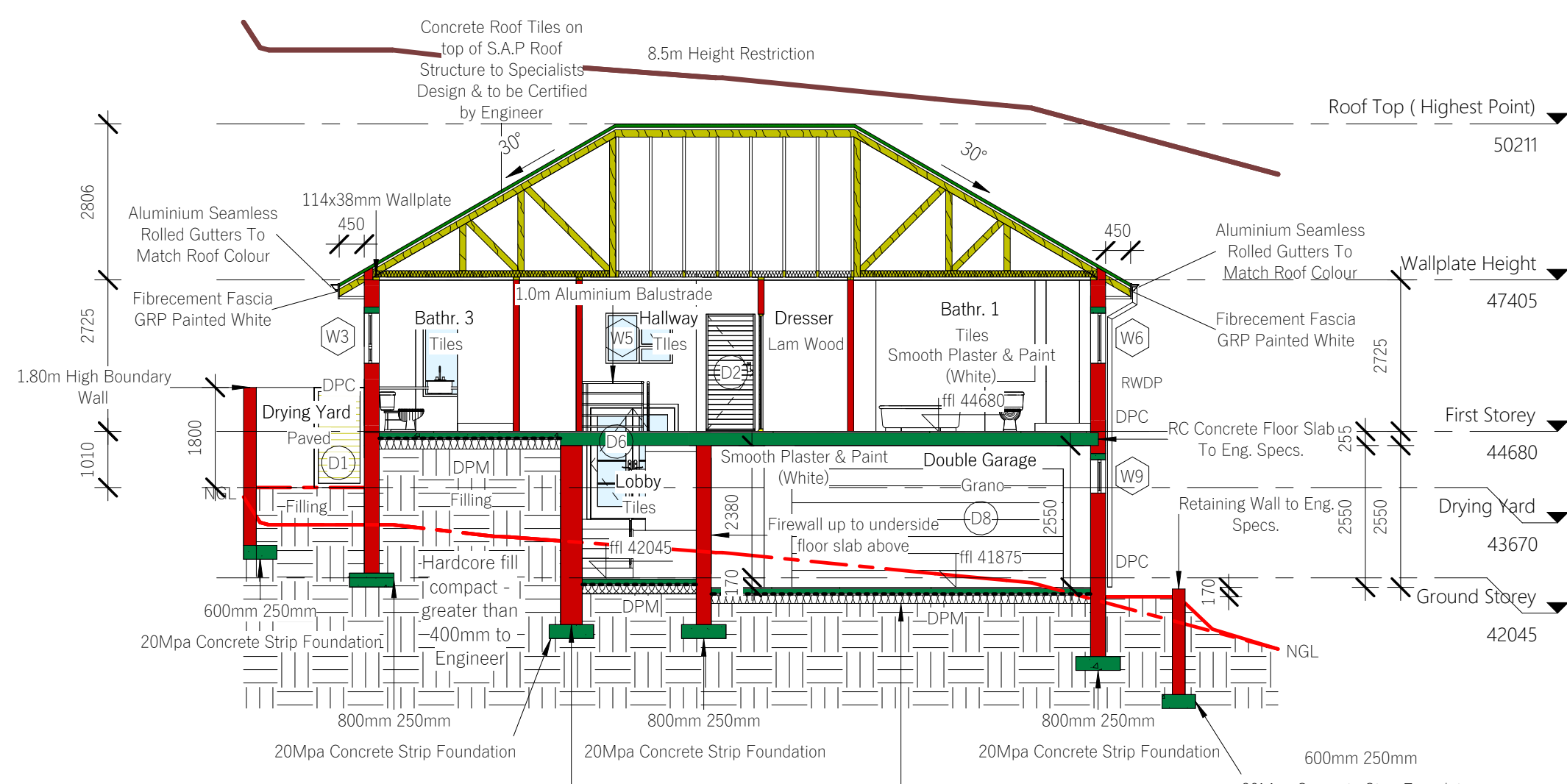
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|----------------------------------------------------------------------------------------------------------|-------------------------------------------------------|
| PROPERTY OWNER / AUTHORIZED AGENT<br>The Lifestyle Village (Pty) Ltd                                     | CLIENTS APPROVAL SIGNATURE<br>                        |
| PROJECT ADDRESS<br>Unit 32<br>Homestead Drive<br>Sea Vista<br>St Francis<br>Eastern Cape<br>South Africa | ERF/HOLDING/PORTION<br>ERF 3896<br>PLAN NUMBER<br>??? |
| NATURE OF PROJECT<br>PROPOSED NEW DWELLING                                                               | DATE<br>11/08/2023                                    |
| DRAWN<br>J.H                                                                                             | DESIGNED<br>H.B                                       |
| CHECKED BY<br>H.B                                                                                        | SCALE<br>As indicated                                 |

**Hennie Bezuidenhout**  
Architectural  
Project Management Services  
S.A.C.A.P.S.A Reg. no ST 1414  
111 DA GAMA ROAD  
Jeffrey's Bay  
Date: 11/08/2023  
cell: 082 553 61583  
email: henniearch3@hotmail.com  
Signature: *HBezuidenhout*

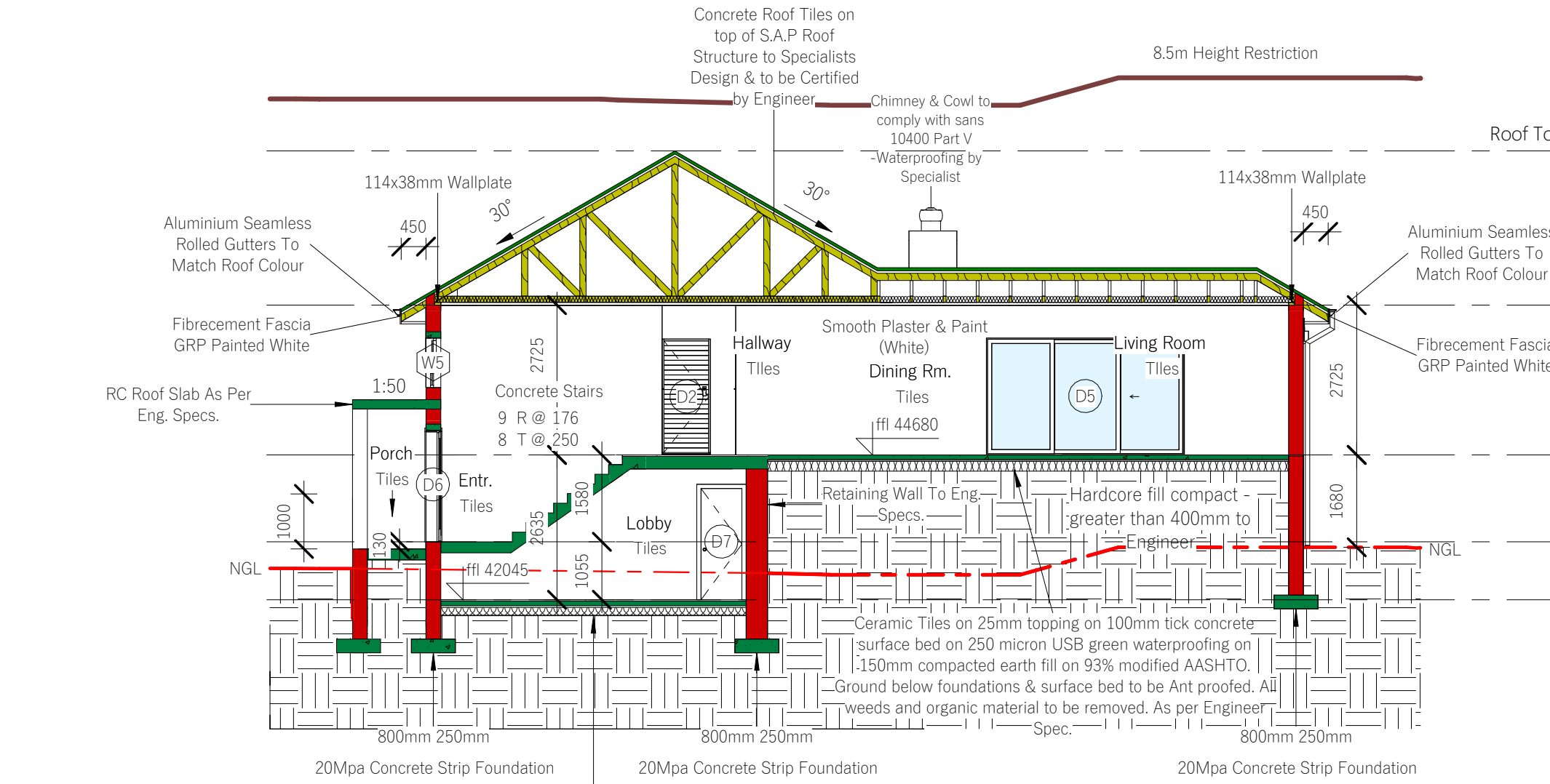
**PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST**  
**HENNIE HENNIE BEZUIDENHOUT**  
11:58 AM (Africa/Johannesburg) on 03 Mar 2023

Professional Indemnity Insurance:  
Stalker Hutchison Admiral (Pty) Ltd  
Policy No. 7000/146176 SHA

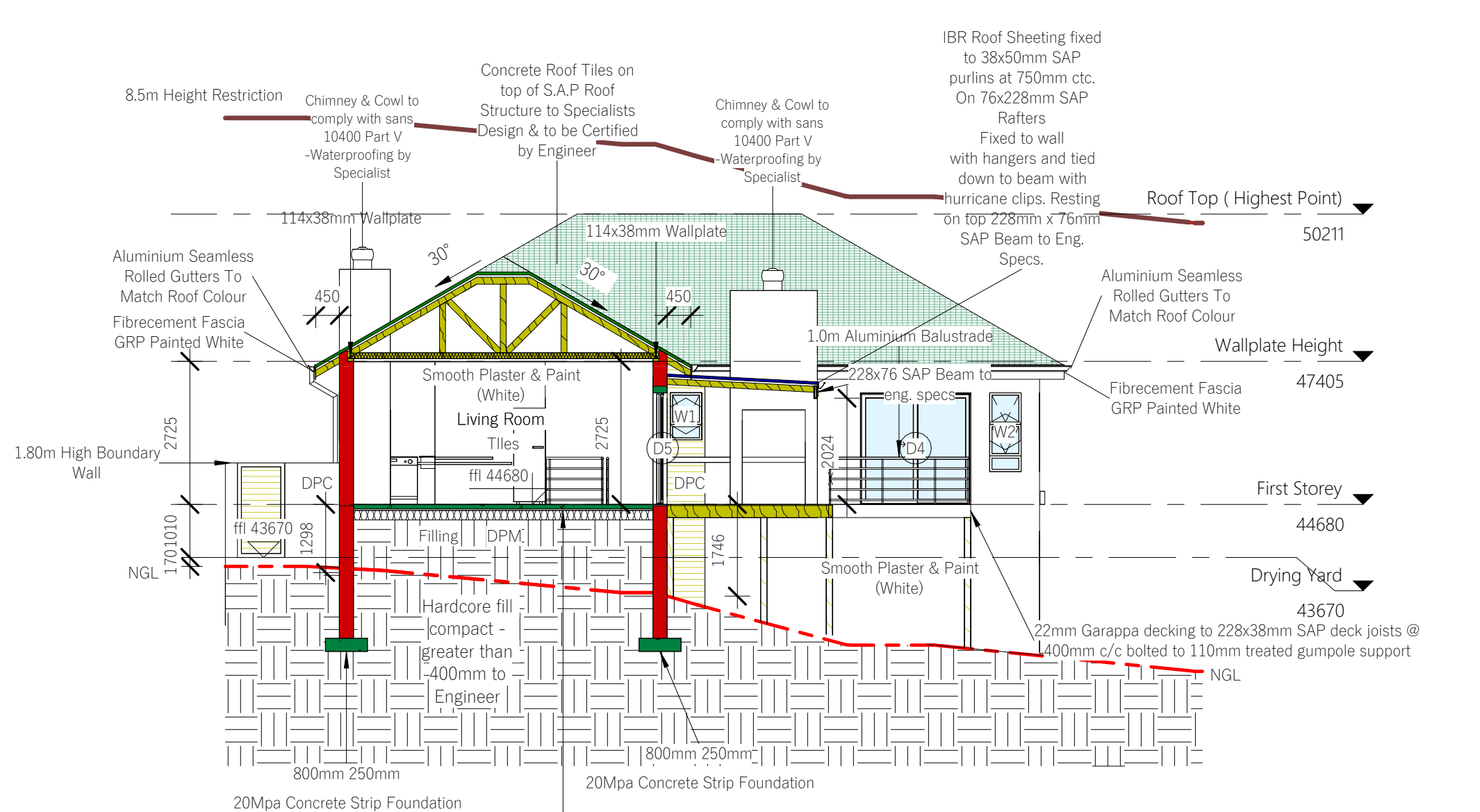




Section A - A  
1 : 100



Section B - B  
1 : 100



Section C - C  
1 : 100

| Line Legend                           | Symbol | Description                           | Tag |
|---------------------------------------|--------|---------------------------------------|-----|
| Overhead                              | ---    | Overhead                              |     |
| 1 Way Switch                          | —      | 1 Way Switch                          |     |
| 2 Way Switch                          | - - -  | 2 Way Switch                          |     |
| 110mm Dia Soil Pipe                   | —      | 110mm Dia Soil Pipe                   |     |
| 50mm Dia Waste Pipe                   | —      | 50mm Dia Waste Pipe                   |     |
| 15mm Cold Water Pipe                  | —      | 15mm Cold Water Pipe                  |     |
| 22mm Potable Water Main Pipe          | —      | 22mm Potable Water Main Pipe          |     |
| 15mm Hot Water Pipe - Solar           | —      | 15mm Hot Water Pipe - Solar           |     |
| 15mm Hot Water Pipe                   | —      | 15mm Hot Water Pipe                   |     |
| Boundary Lines                        | —      | Boundary Lines                        |     |
| Building Lines                        | —      | Building Lines                        |     |
| Channel                               | —      | Channel                               |     |
| Day Night Switch                      | —      | Day Night Switch                      |     |
| Gas Line                              | —      | Gas Line                              |     |
| Height Restriction                    | —      | Height Restriction                    |     |
| LED Strip                             | —      | LED Strip                             |     |
| NGL                                   | —      | NGL                                   |     |
| Roof Lines                            | —      | Roof Lines                            |     |
| Electrical Cable Line                 | —      | Electrical Cable Line                 |     |
| 110mm Dia UPVC Pipe Sleeves           | —      | 110mm Dia UPVC Pipe Sleeves           |     |
| Timber Bulkhead Above                 | —      | Timber Bulkhead Above                 |     |
| 25mm Conduit Sleeves For Telkom/Fibre | —      | 25mm Conduit Sleeves For Telkom/Fibre |     |

Line Legend  
1 : 100

| Electrical Fixture Schedule | Family |
|-----------------------------|--------|
| 300h Double Plug Switch     | 17     |
| 1100h Double Plug Switch    | 6      |
| DB                          | 1      |
| Light Switch                | 21     |
| Light Switch 2 Way          | 14     |
| M_Solar Panel               | 1      |
| Satellite Dish              | 1      |
| Shaving Point               | 3      |
| Solar Inverter              | 1      |
| Stove Point                 | 1      |
| Sub DB                      | 1      |
| TV Point1                   | 2      |
| Waterproof Plug             | 2      |
| Wifi Connection             | 1      |

| Symbol                | Description           | Tag |
|-----------------------|-----------------------|-----|
| Light Switch          | Light Switch          | LS1 |
| Light Switch 2 Way    | Light Switch 2 Way    | LS2 |
| Light Switch 3 Way    | Light Switch 3 Way    | LS3 |
| Dimmer Switch         | Dimmer Switch         | DS  |
| Timer Switch          | Timer Switch          | TS  |
| Meter Box             | Meter Box             | MB  |
| Distribution Box      | Distribution Box      | DB  |
| Sub. Distribution Box | Sub. Distribution Box | SDB |
| Control Panel         | Control Panel         | CO  |
| Hot Water Geyser      | Hot Water Geyser      | G   |
| TV Point              | TV Point              | TVP |
| IP Point              | IP Point              | IPP |
| 300h Double Plug      | 300h Double Plug      | 3PS |
| 1100h Double Plug     | 1100h Double Plug     | 1PS |
| Waterproof Plug       | Waterproof Plug       | WTP |
| Satellite Dish        | Satellite Dish        | SD  |
| Wifi Connection       | Wifi Connection       | WIC |
| Stove Point           | Stove Point           | SP  |
| Inverter              | Inverter              | INV |
| Shaver Plug Point     | Shaver Plug Point     | SHP |
| Thermostat            | Thermostat            | TS  |
| Solar Panel           | Solar Panel           | SP  |

Electrical Fixture Legend  
1 : 100

| Symbol                 | Description            | Tag |
|------------------------|------------------------|-----|
| Gully                  | Gully                  | Gu  |
| Stubstack              | Stubstack              | SS  |
| Vent Pipe              | Vent Pipe              | VP  |
| Garden Tap             | Garden Tap             | GT  |
| Gas Bottle             | Gas Bottle             | GB  |
| Kitchen Sink Single    | Kitchen Sink Single    | KSS |
| Prep Bowl              | Prep Bowl              | PB  |
| Kitchen Sink Double    | Kitchen Sink Double    | KSD |
| Washing Trough         | Washing Trough         | WT  |
| Kitchen Sink Triple    | Kitchen Sink Triple    | KST |
| Hand Wash Basin Round  | Hand Wash Basin Round  | HWB |
| Hand Wash Basin Square | Hand Wash Basin Square | HWB |
| Wall Mounted Toilet    | Wall Mounted Toilet    | WMT |
| Basic Toilet           | Basic Toilet           | WC  |
| Urinal                 | Urinal                 | UR  |
| Pool Pump              | Pool Pump              | PP  |
| Free Standing Bath     | Free Standing Bath     | B   |
| Built In Bath          | Built In Bath          | B   |
| Shower                 | Shower                 | SH  |
| Water Storage Tank     | Water Storage Tank     | WST |

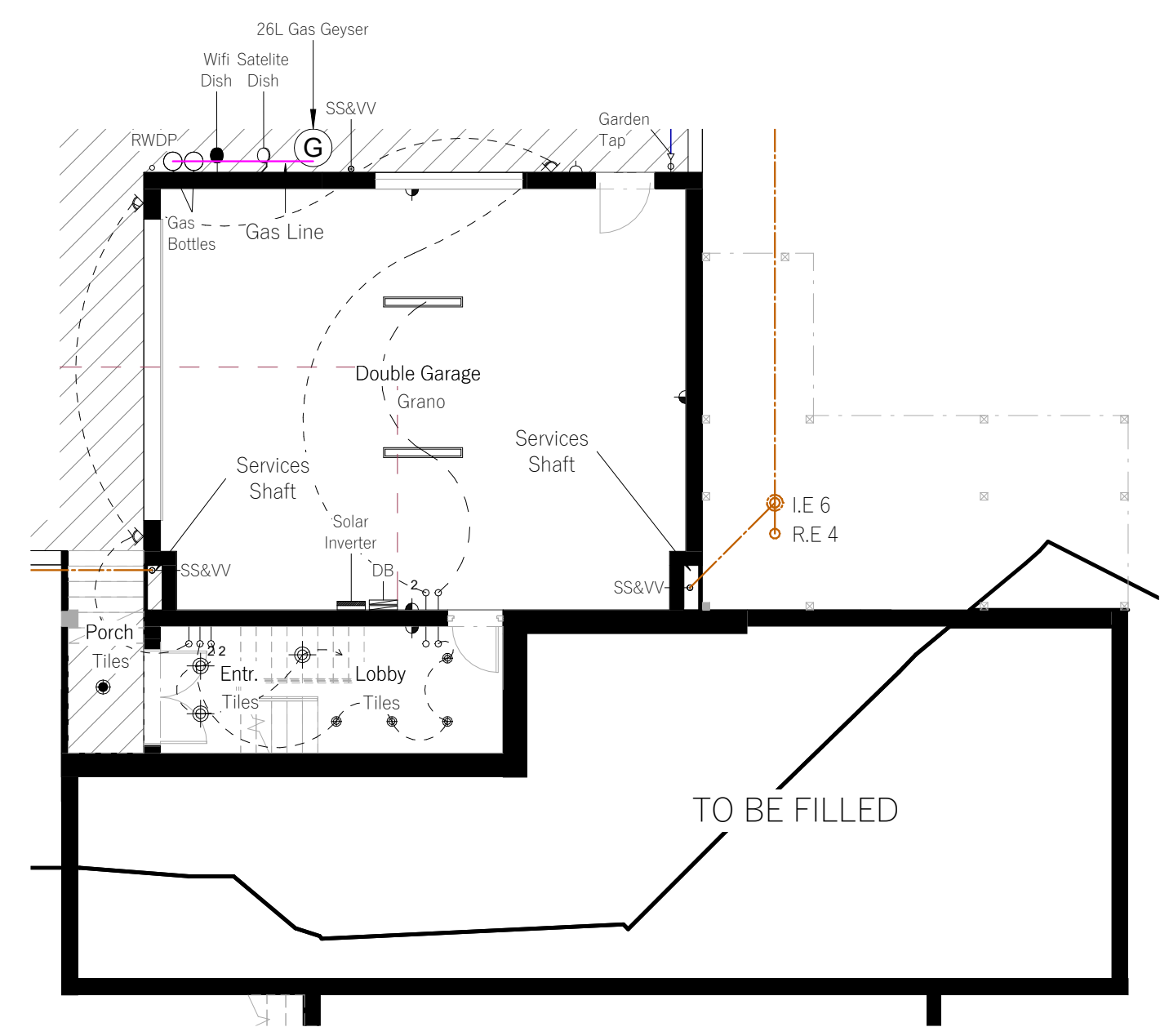
Plumbing Legend  
1 : 100

| Symbol                                | Description                           | Tag |
|---------------------------------------|---------------------------------------|-----|
| Ceiling & Downlight Fan               | Ceiling & Downlight Fan               | CLF |
| Pendent                               | Pendent                               | PL  |
| Downlight                             | Downlight                             | DL  |
| Ceiling Light                         | Ceiling Light                         | CL  |
| Garden Light                          | Garden Light                          | GL  |
| Floor Light                           | Floor Light                           | FL  |
| Exterior Wall Light                   | Exterior Wall Light                   | EWL |
| LED Ceiling Light                     | LED Ceiling Light                     | LED |
| Interior Wall Light                   | Interior Wall Light                   | IWL |
| Pool Light                            | Pool Light                            | PL  |
| Garden Light                          | Garden Light                          | GL  |
| Exterior Ceiling Light                | Exterior Ceiling Light                | ECL |
| Random LED Starlight / Strip lighting | Random LED Starlight / Strip lighting | STL |
| Flood Light                           | Flood Light                           | FL  |

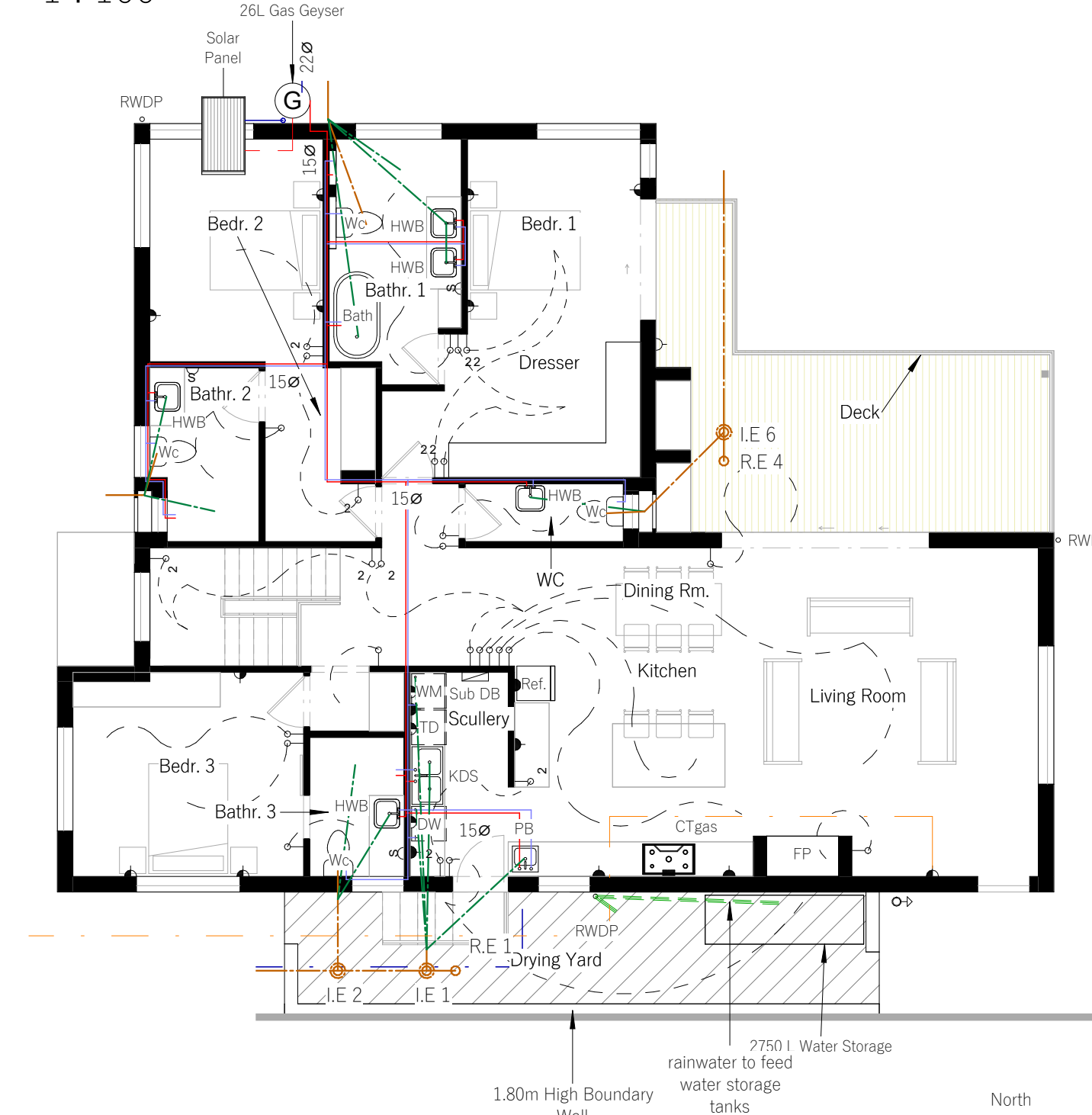
Lighting Legend  
1 : 100

| Symbol             | Description        | Tag  |
|--------------------|--------------------|------|
| Rainwater Downpipe | Rainwater Downpipe | RWDP |
| Gully              | Gully              | Gu   |
| Stubstack          | Stubstack          | SS   |
| Vent Pipe          | Vent Pipe          | VP   |
| Inspection Eye     | Inspection Eye     | I.E  |
| Rodding Eye        | Rodding Eye        | R.E  |
| Manhole            | Manhole            | MH   |
| Grease Trap        | Grease Trap        | GT   |
| Discharge Arrow    | Discharge Arrow    | DC   |

Drainage Legend  
1 : 100



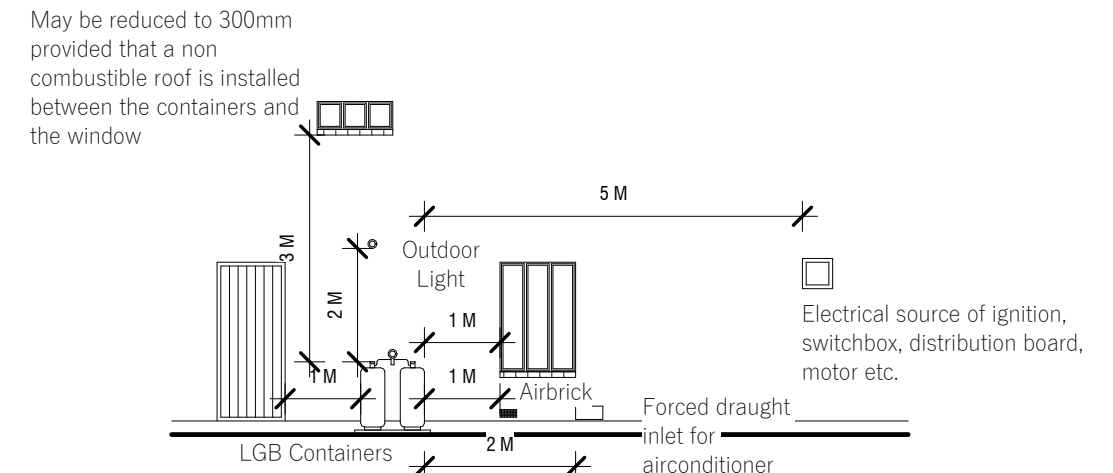
01 - Ground Storey Plumbing & Electrical Layout  
1 : 100



02 - First Storey Plumbing & Electrical Layout  
1 : 100

| Minimum R-value of pipe insulation |                  |
|------------------------------------|------------------|
| Internal diameter of pipe mm       | Minimum R-value* |
| ≤80                                | 1.00             |
| >80                                | 1.50             |

R- Value of pipe insulation  
1 : 50



GAS Installation diagram as per SANS 10087 -  
Installation by Specialist

| Lighting Fixture Schedule | Family |
|---------------------------|--------|
| Ceiling Fan               | 3      |
| Ceiling Light             | 15     |
| Downlight                 | 16     |
| Exterior Ceiling Light    | 1      |
| Exterior Wall Light       | 6      |
| Interior Wall Light       | 1      |
| LED Ceiling Light         | 3      |
| Pendant Light             | 8      |

KOUGA MUNICIPAL STAMP

**Homestead Views**  
Home Owners Association & Aesthetics  
Committee

**CONDITIONALLY APPROVED**  
11/08/2023

*HBezuidenhout*  
HSV HOA  
Subject to Local Municipal Authority  
Approval

- All work to be done and all materials to be used have to comply with SANS10400 regulations
- Part A - General Principles
  - Part B - Structural Design
  - Part C - Dimensions
  - Part D - Public Safety
  - Part E - Demolition work
  - Part F - Site Operations
  - Part G - Excavations
  - Part H - Foundations
  - Part I - Floors
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  - Part M - Partitions
  - Part N - Non Water Borne Sanitation
  - Part O - Storm Water
  - Part P - Fire Protection
  - Part Q - Refuse Disposal
  - Part R - Space Heating
  - Part S - Fire Installations
  - Part T - Energy

Energy Efficiency Supplement Documents as per SANS10400 forms part of this set of drawings and specification should be read in conjunction with this documentation's.

All requirements of municipal and other authorities concerned have to be adhered to. Contractors and Sub-contractors are to check all dimensions and levels on building site before commencing with any work. Figured dimensions to be taken in preference to scaled measurements and large scale details supersede small scale drawings. The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him.

Lighting & Energy Usage:  
all fluorescent light fittings to be SABS approved 11W LED  
all other light fittings to min. SABS approved 5W LED with 50W output.

Timber  
all timber work to comply with SABS standards 082 : 0137 : 0400  
all timber to be treated to SABS specs 1228 of 1994

Space Heating  
provision of space heating to comply with SANS10400 part V - where applicable

The design of this drawing is the property of Hennie Bezuidenhout and copyright is reserved by him.

SHEET DESCRIPTION  
Sections, Plumbing & Electrical

PROPERTY OWNER / AUTHORIZED AGENT  
The Lifestyle Village (Pty) Ltd

CLIENTS APPROVAL SIGNATURE  
*[Signature]*

PROJECT ADDRESS  
Unit 32  
Homestead Drive  
Sea Vista  
St Francis  
Eastern Cape  
South Africa

ERF/HOLDING/PORTION  
ERF 3896

PLAN NUMBER  
???

NATURE OF PROJECT  
PROPOSED NEW DWELLING

DATE  
11/08/2023

DRAWN J.H. DESIGNED H.B. CHECKED BY H.B. SCALE As indicated

**Hennie Bezuidenhout**  
Architectural  
Project Management Services  
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Jeffrey's Bay  
cell: 082 553 61583  
email : henniearch3@hotmail.com

DATE: 11/08/2023  
Signature: *HBezuidenhout*

PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST  
**HENNIE HENNIE BEZUIDENHOUT**

Professional Indemnity Insurance:  
Stalker Hutchison Admiral (Pty) Ltd  
Policy No. 7000/146176 SHA



**General Notes**

**Building Works**

All building work components and site operations to comply with the applicable national building regulations, SABS standards and SANS10400, SANS204, SANS10251, SANS10252 and any other mandatory standards, regulations and code of conduct.

**Structure**

All applicable structural elements and components to be designed and certified by structural engineer, to comply with the requirements of the national building regulations SANS10400 parts HJ,K,L,M,N.

**Dimensions**

All humanly habitable rooms shall have a minimum floor area of 6m sqm with a min. horizontal dimension of 2,0m and height, floor to ceiling of 2,4m. All dimensions to comply with SANS10400 part C

**Public Safety**

Changes in level, design of ramps and driveways, access to swimming pools to comply with SANS10400 part D

**Demolition Work**

Demolition of existing structures to comply with SANS10400 part E

**Site Operations**

All site operations, including protection of public, shall be executed to comply with SANS10400 part F. Approved sanitary facilities for all site personnel to be available prior to commencement of site work, and shall be available throughout the duration of the building operations.

**Excavations**

All excavations to comply with SANS10400 part G

**Foundations**

The minimum width to any continuous strip foundations shall be 600mm  
330mm walls: 1250x450mm concrete strip foundation  
270mm walls: 850x300mm concrete strip foundation  
230mm walls: 750x300mm concrete strip foundation  
110mm walls: 600x300mm concrete strip foundation  
All foundations to be checked and approved by structural engineer.  
All foundations to comply with SANS10400 parts B, H.

**Floors**

All floor to comply with SANS10400 part J  
All waterproofing membrane to be turned up around the perimeter of the floor slab by at least the thickness of the floor, and to be provided with a minimum overlap of 200mm at joints.  
Penetration of the waterproofing membran by water, sewer or services pipes to be taped with approved pressure sensitive tape to manufacturers specs.  
All filling to be moistened prior to compaction but must not show signs of soaking. Sub soil compactions may not exceed 100mm thick with hand compactions and 150mm thick with mechanical compactions.  
Appointed engineer to design and inspect filling deeper than 400mm.  
Floors in laundries, kitchen, shower, bathrooms or rooms containing a WC, urinal to be water resistant.  
Compacted filling more than 300mm thick to approved by Engineer

**Lighting and Ventilation**

Lighting and ventilation in all humanly habitable rooms, bathrooms, showers and rooms containing WC's to comply with SANS10400 parts O & T

**Stormwater**

Demolition of existing structures to comply with SANS10400 part E 10400 part R

**Electrical**

All work to be executed by contractors registered with the ELECTRICAL CONTRACTING BOARD OF SA

**Retaining Walls**

All walls retaining greater than 1000mm to be designed by appointed structural engineer

**Drainage & Plumbing**

Only SABS approved sanitary fittings and materials to be used and must comply with SANS10400 part P  
100mm% discharge stacks & vent pipes  
160mm% discharge soil pipes  
50mm% soil discharge pipes to showers and urinal  
40mm% waste discharge pipes to hwb's baths & sinks  
gullies to comply with P29  
All waste fittings to have re-sealing traps and water seals not less than 65mm.  
Access to drainage systems to be provided with adequately marked and protected and permanently accessible rodding eyes at all changes in directions, with 1500mm of the municipal drainage connection, at the highest point of the drainage system and at max. 25m intervals.  
Inspection eyes at all bends and junctions.  
No bends, junctions within or underneath walls, surface beds, concrete slabs. - all drainage underneath buildings to have concrete encasements as approved by engineer.  
All water pipes to be class 2 copper  
All exposed hot water supply pipes to be lagged in appropriate SABS approved thermal insulation with minimum R-value of 1.0

**Windows & Doors**

External:  
All windows SABS approved powder coated Aluminium framed top-hung open out with clear single glazing - see window schedule  
All Sliding doors SABS approved powder coated Aluminium framed with appropriate SABS approved laminated SOLARVEU single glazing, comparable with low "E" glazing.  
All fenestration and glazing to comply with SANS10400 parts B; N; XA and SANS 204.  
ALL OPENINGS LARGER THAN 3,0m TO BE TO ENGINEERS DESIGN

**Roof & Ceilings**

(min. R-value 3.72)(sqm.K/W)  
Fair Black Concrete Shingle Rooflites (R-value= 0.)  
All roof timber to be GRADE 5 SA Pine.  
Entire roof, incl roof covering & waterproofing to comply to SANS10400 part L the fire resistance and combustibility of the roof assembly or any ceiling assembly to comply to SANS10400 parts L & T

Aluminium gutters and pvc downpipes to SANS10400 part T.  
Ceiling Thermal Insulation properties (3.72req)-total R-value=3.76-comply Gypsum ceilingboards - (R-value = 0.06)  
Outdoor Air Film ; (R-value = 0.03)  
50mm Iso-therm blanket between battens on top of ceiling (R-value = 1.25)  
SABS approved EnviroTuff 203 double sided Radiant barrier thermal insulation

**Finishes Note**

**Roof**

BLACK SHINGLE Concrete Rooflites on 38x50mm SAP battens fixed to rafter in line and 38x38mm battens @ 325mm centres on engineers design  
Gangnail trusses and /or Rafter @ 45 degrees, with appropriate insulation  
Concrete Slab Roofs - by Engineers design - waterproofing by specialist with SABS approved materials.

**Ceiling**

Outside - Cladit on top of sprockets - painted White as per HOA  
Inside - 6.4mm T&G FC boards fixed to top of truss rafters - painted - white  
50mm Isotherm blanket between battens on top of ceiling (R-value = 1.25)  
SABS approved EnviroTuff 203 double sided Radiant barrier thermal insulation with 0.2 outer emissivity and 0.05 inner emissivity (r-value = 2.42) strictly to manufacturers specs on top of ceiling boards between purlins.  
All to comply with SANS10400 part XA and SANS 204

**Cornice**

Polystyrene - profile by client - painted white (where applicable)

**Gutter**

Aluminium Seamless rolled - 100x125mm gutter to match roof colour & 75mm dia PVC downpipes and outlets.

**Fascia**

Fibre Cement Fascia - Painted White

**Bricks**

Clay Plaster Bricks - min 14Mpa With R-value < 0.35

**Paint**

SABS approved paint - colour White as per HOA approval.

**Walls**

External - Smooth plaster & paint - WHITE as per HOA  
Internal - Smooth plaster & paint - Colour as per client  
All Retaining Wall - by Engineers design

**Windows**

Aluminium - BLACK Top hung - 30.5mm profile frame  
Cills External - Brick on Edge, Plastered and Painted - Colour White as per HOA  
Cills Internal - Plastered and Painted - Colour as per client.

**Lintels**

Prefabricated Pre-stressed concrete lintels with max. overlay.  
All openings greater than 3.0m to Engineers design.

**Doors**

External - Aluminium Framed & Safety Glass - Black & Sandblasted glass.  
Internal - Semi solid Deep Mould - profile by client - Paint colour - by client  
Internal - Solid Class B Fire Door from Garage - Paint colour by client

**Door Frames**

External - Aluminium - Black to match doors  
Internal - 50mm Heavy Duty Hardwood Frame " Swartland" or similar - paint by client

**Door Garage**

Aluminium Sectional Overhead with remote control - Colour Black

**Floors**

100mm thick Pre-mix Concrete on min. 250u plastic Underlay - finish as indicated  
Filling max 150mm thick layers - compaction more than 300mm to engineers approval

**Foundations**

Concrete Strip footings as per Engineers design.

**Paving**

Links Palazzo Cobbles - colour as per HOA.

**Stormwater**

As shown on Contour Plan & Setting Out Dimensions - to discharge to the satisfaction of the HOA

**Cupboards**

As per Developer/Client agreement - PC amount allowance

**Burglar Alarms**

As per recommendation of HOA

**Sanitary Ware**

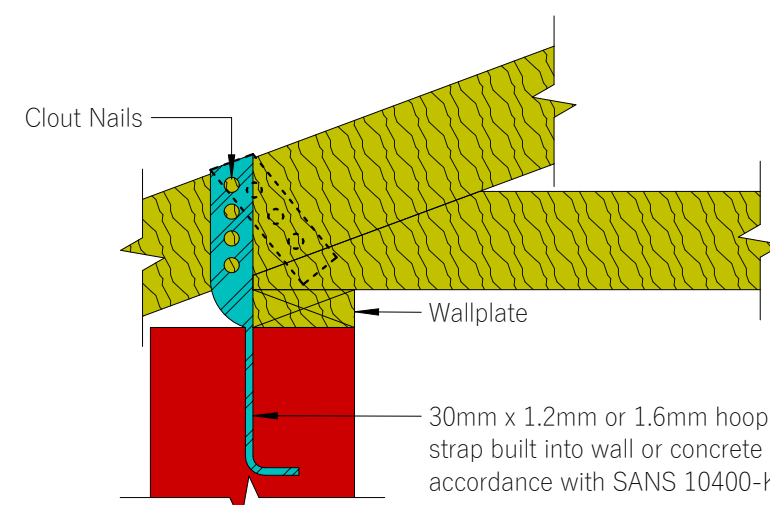
AS per Developer/Client agreement - PC amount allowance

**Drainage**

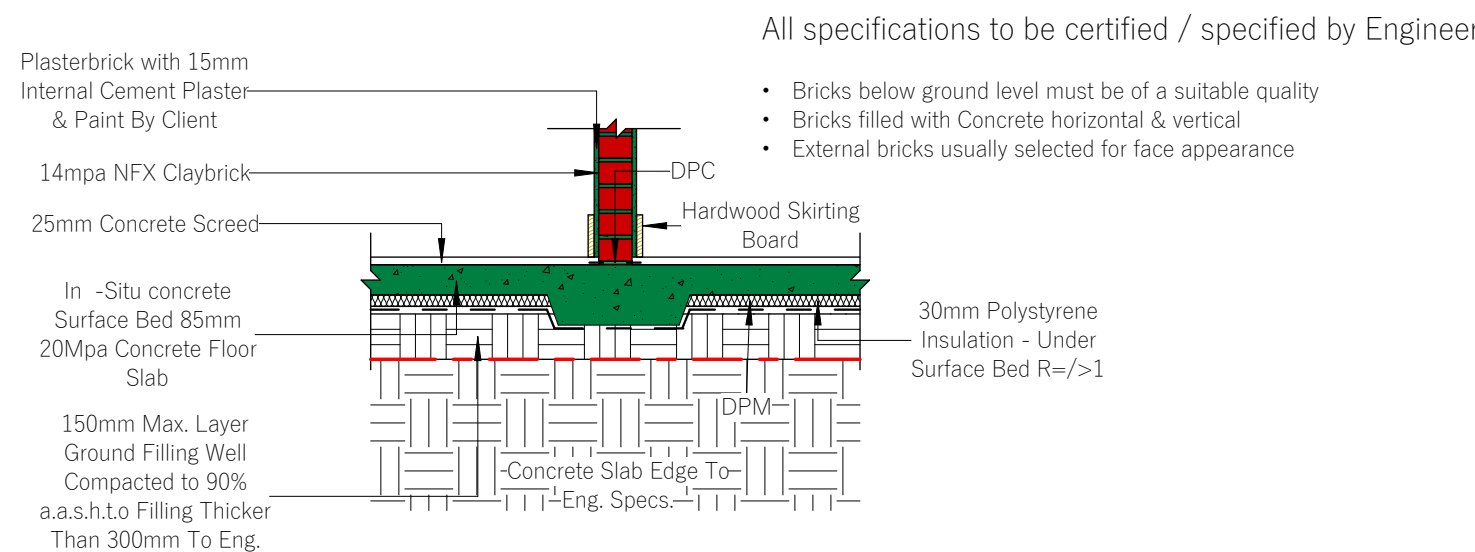
As per Layout - White PVC all exposed - hidden where possible

**Fire Protection**

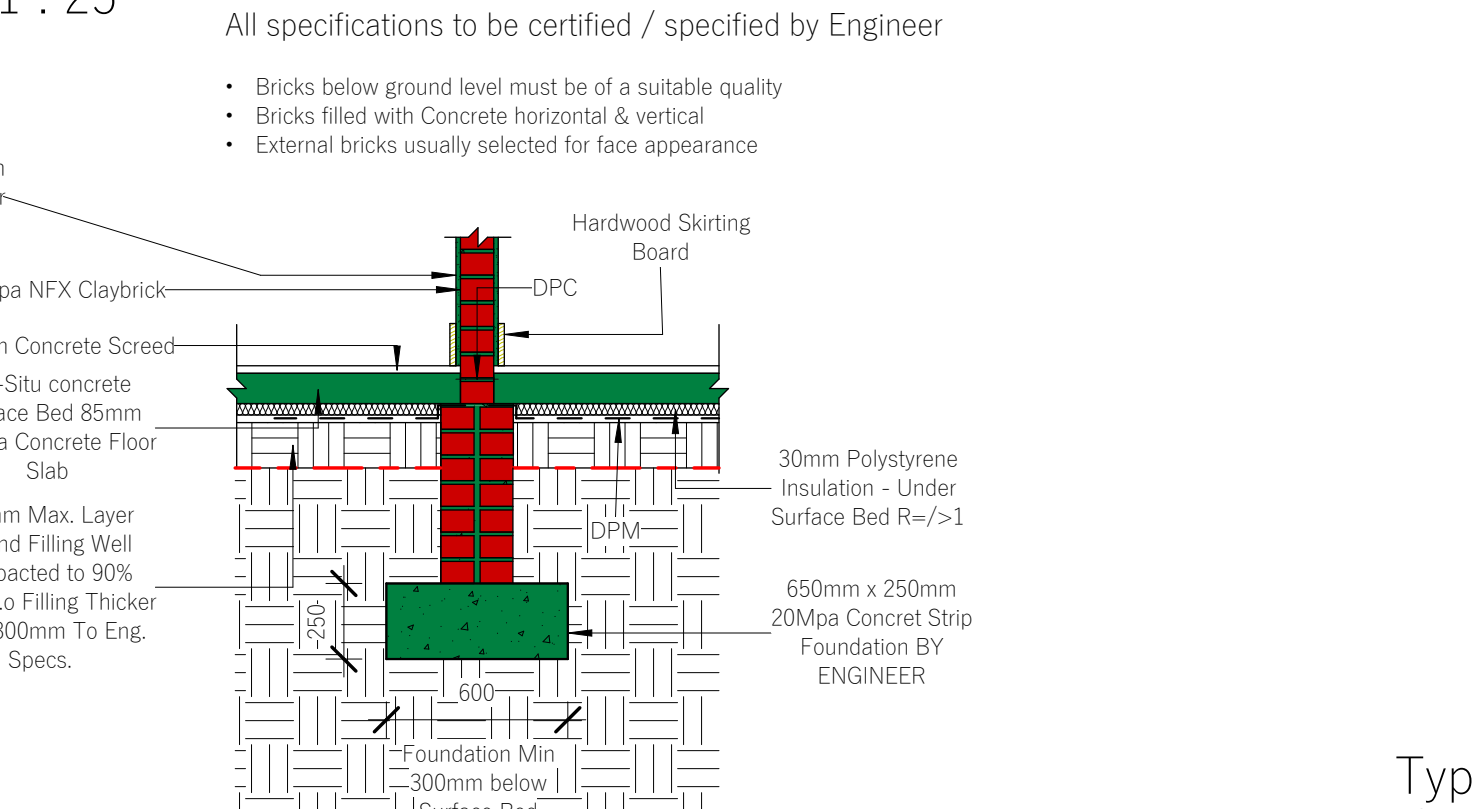
1x30m Fire Hose Reel installed by qualified approved contractor  
1x4.5kg DCP Fire Hydrant



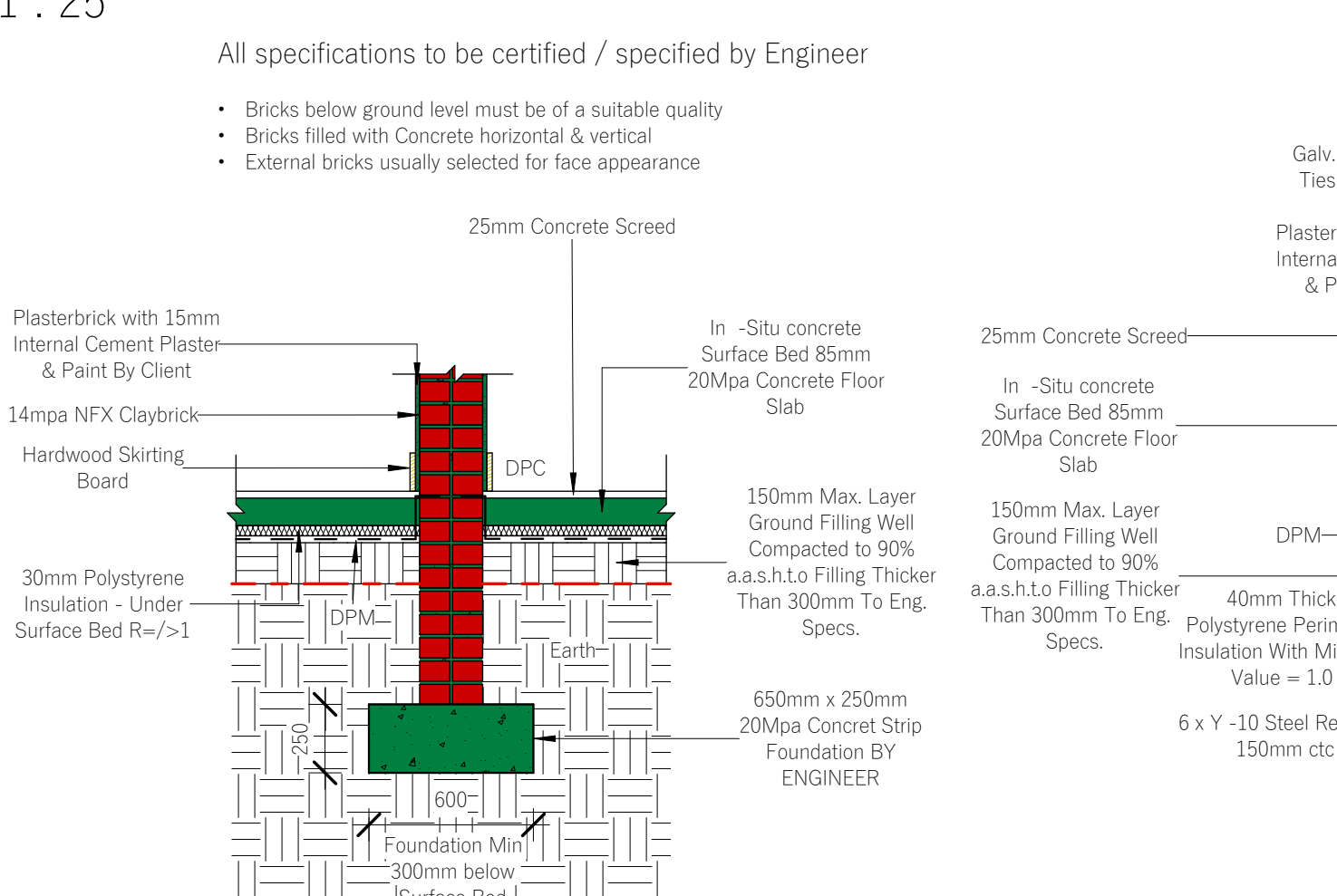
Roof Anchorage Details 1 : 10



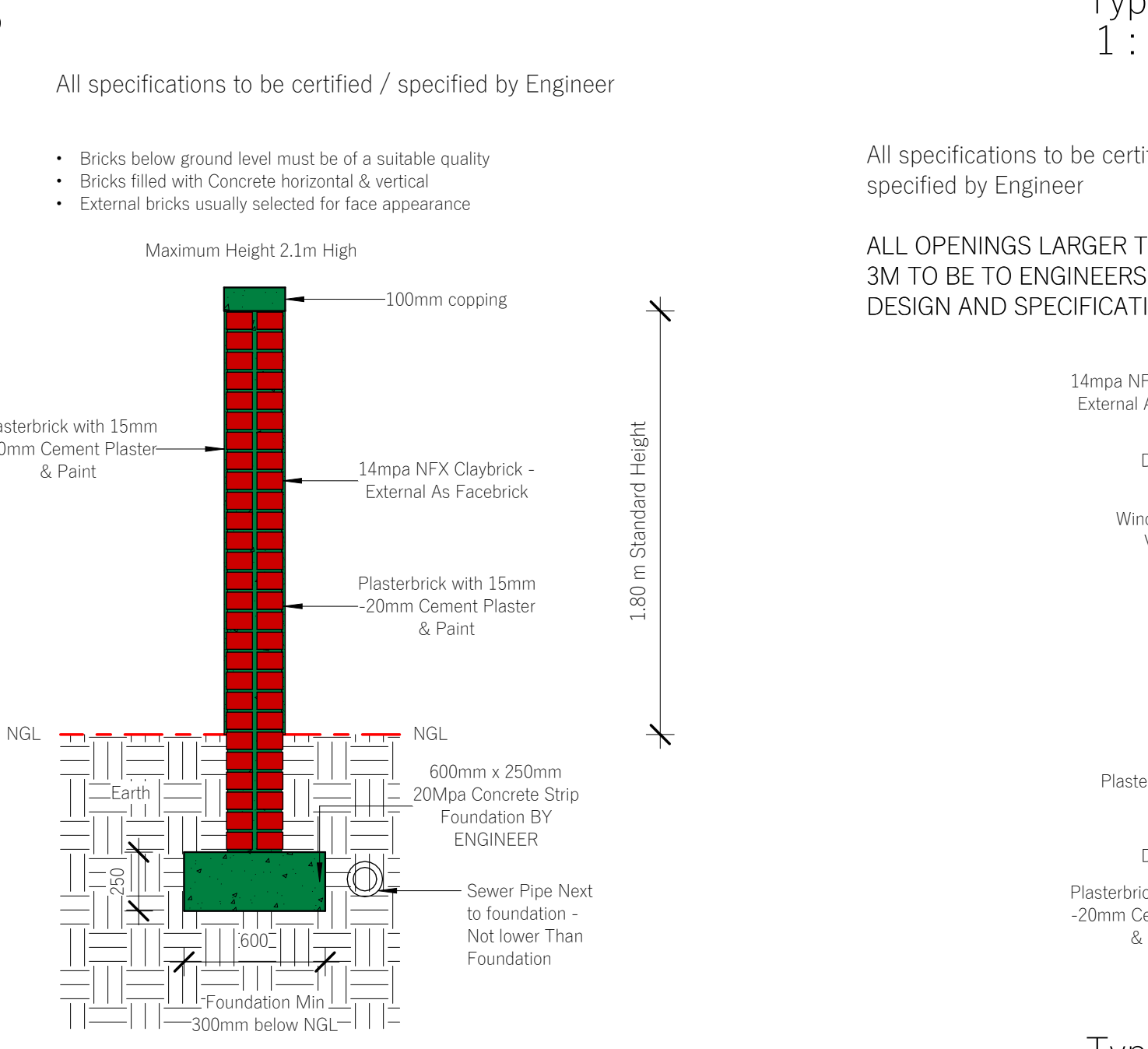
Typical Non -Load Bearing Single Wall Foundation Detail 1 : 25



Typical Internal Single Wall Foundation Detail 1 : 25



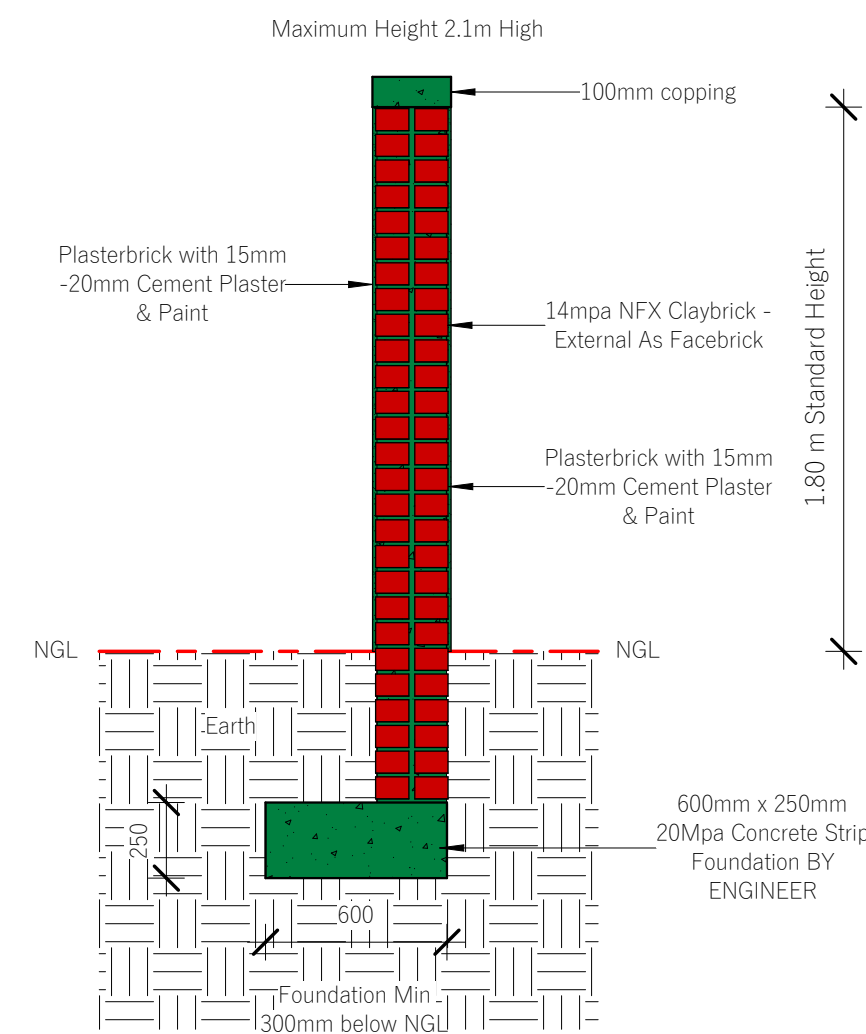
Typical Internal Double Wall Foundation Detail 1 : 25



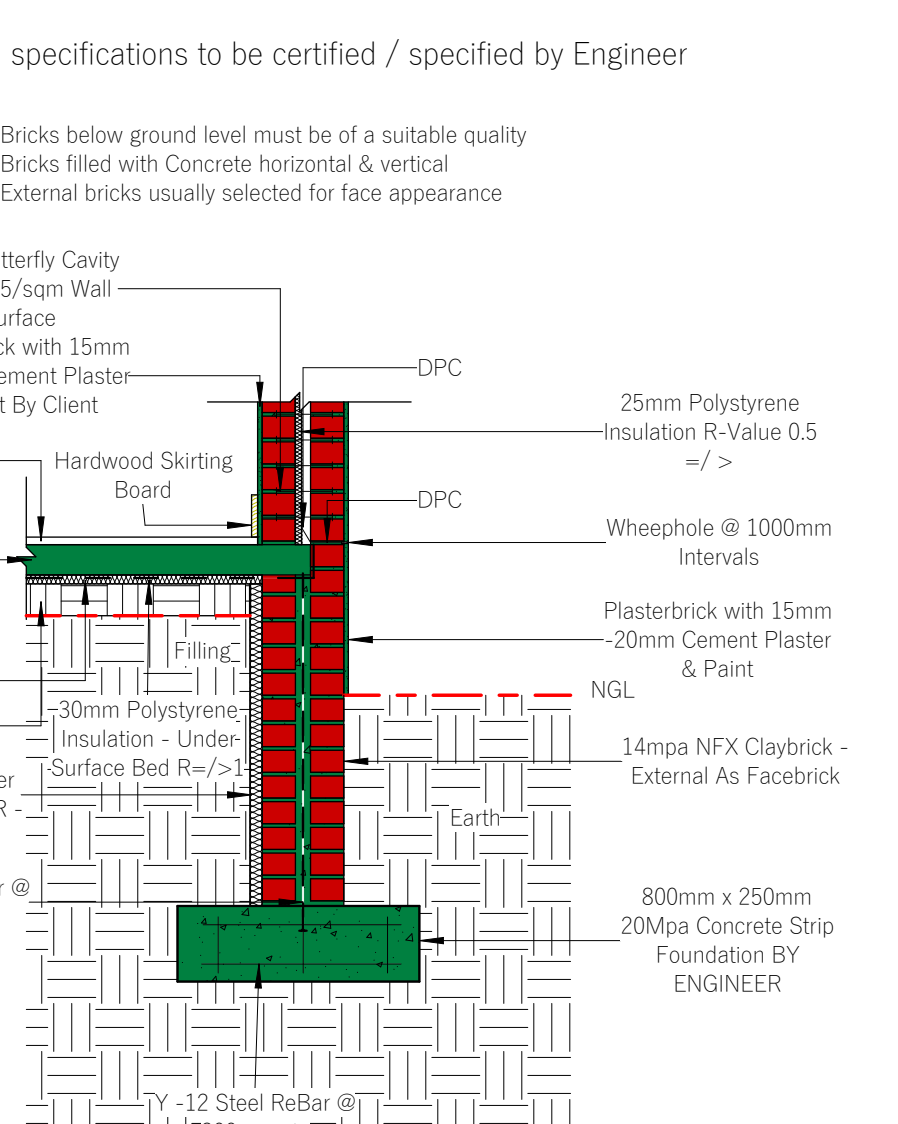
Typical Screen Wall Detail 1 : 25

All specifications to be certified / specified by Engineer

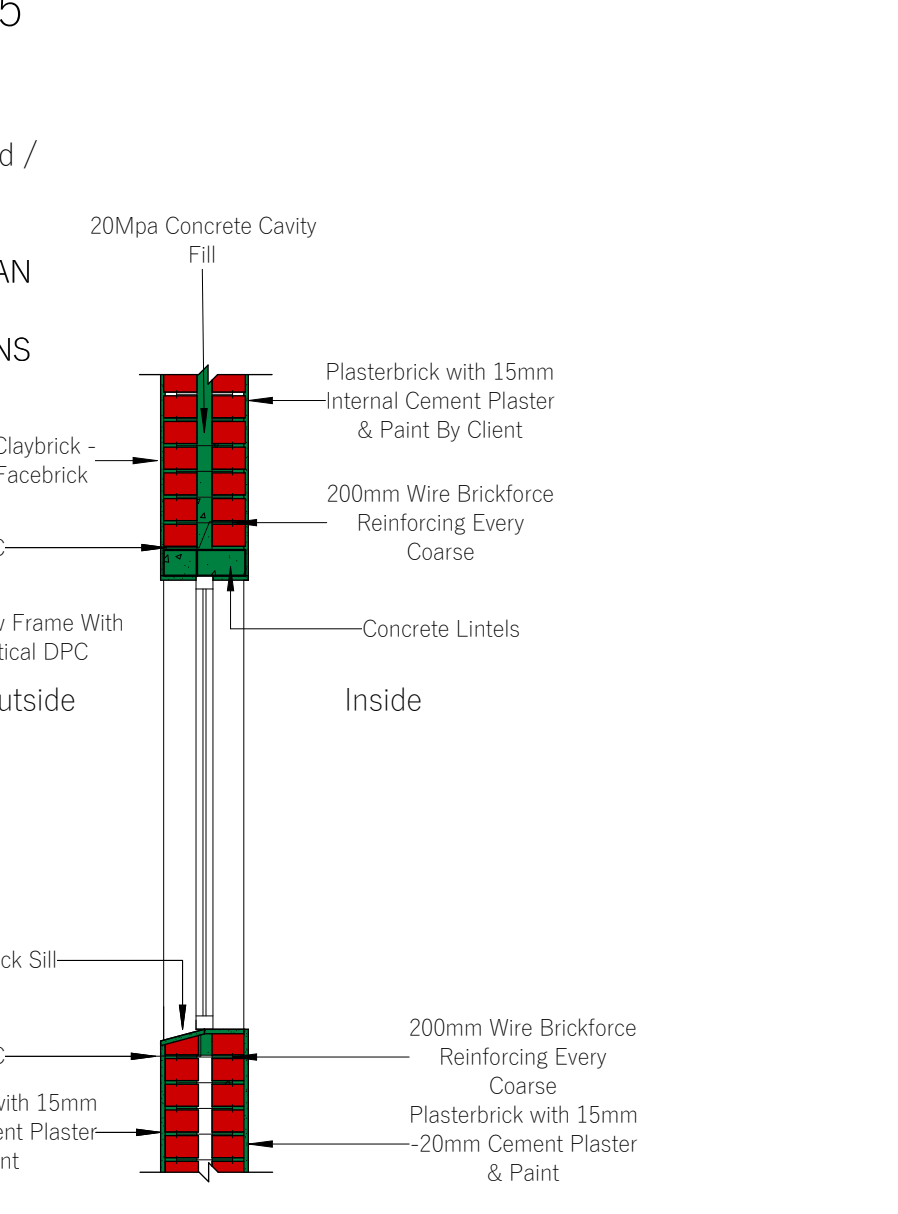
- Bricks below ground level must be of a suitable quality
- Bricks filled with Concrete horizontal & vertical
- External bricks usually selected for face appearance



Typical Boundary Wall Non Encroaching Detail 1 : 25



Typical Cavity Wall Foundation Detail 1 : 25



Typical Window / Opening Detail 1 : 25

KOUGA MUNICIPAL STAMP

**Homestead Views**  
Home Owners Association & Aesthetics Committee  
**CONDITIONALLY APPROVED**  
11/08/2023  
*HBezuidenhout*  
HSV HOA HSV HOA  
Subject to Local Municipal Authority Approval

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- Part O - Lighting Ventilation
- Part P - Drainage
- Part Q - Non Water Borne Sanitation
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- Part S - Disabled
- Part T - Fire Protection
- Part U - Refuse Disposal
- Part V - Space Heating
- Part W - Fire Installations
- Part X - Energy

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| SHEET DESCRIPTION                                                                                        |                 | CLIENTS APPROVAL SIGNATURE |                       |
|----------------------------------------------------------------------------------------------------------|-----------------|----------------------------|-----------------------|
| Specifications, Details                                                                                  |                 |                            |                       |
| PROPERTY OWNER / AUTHORIZED AGENT<br>The Lifestyle Village (Pty) Ltd                                     |                 | <i>[Signature]</i>         |                       |
| PROJECT ADDRESS<br>Unit 32<br>Homestead Drive<br>Sea Vista<br>St Francis<br>Eastern Cape<br>South Africa |                 |                            |                       |
| NATURE OF PROJECT<br>PROPOSED NEW DWELLING                                                               |                 | DATE<br>11/08/2023         |                       |
| DRAWN<br>J.H                                                                                             | DESIGNED<br>H.B | CHECKED BY<br>H.B          | SCALE<br>As indicated |

**Hennie Bezuidenhout**  
Architectural Project Management Services  
S.A.C.A.P.S.A Reg. no ST 1414  
111 DA GAMA ROAD  
Jeffrey's Bay  
cell: 082 553 61583  
email : henniearch3@hotmail.com  
Date: 11/08/2023  
Signature: *HBezuidenhout*

PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST  
**HENNIE HENNIE BEZUIDENHOUT**  
11:58 AM (Africa/Johannesburg) on 03 Mar 2023

Professional Indemnity Insurance:  
Stalker Hutchison Admiral (Pty) Ltd  
Policy No. 7000/146176 SHA