

**THE PLAN CO**  
ARCHITECTURAL DESIGNERS

tel 021 851 0792  
web www.theplanco.co.za  
email info@theplanco.co.za  
SACAP Reg. No. D0242

elwil centre | 14 caledon street | somerset west

schedule | areas

existing ground floor	410m²
existing first floor	122m²
existing outbuilding	38.5m²
proposed covered entrance	5m²
proposed covered porch	3.2m²
proposed covered patio	23.8m²
proposed covered yard	19.3m²
total	621.8m²
footprint	499.8m²
site	1026.87m²
coverage	48.67%
zoning	LB2
proposed timber canopy	20m²

04517 | taljaard | ssw1151 | rev00

project | **gallery taljaard - erf 1151**  
**91 andries pretorius street**  
**somerset west**

24 02 2020	00	munic drawings	fvd

date | **february 2020**

scale | **as shown @ a1**

drawn | **f van dijk**

checked | **r bands**

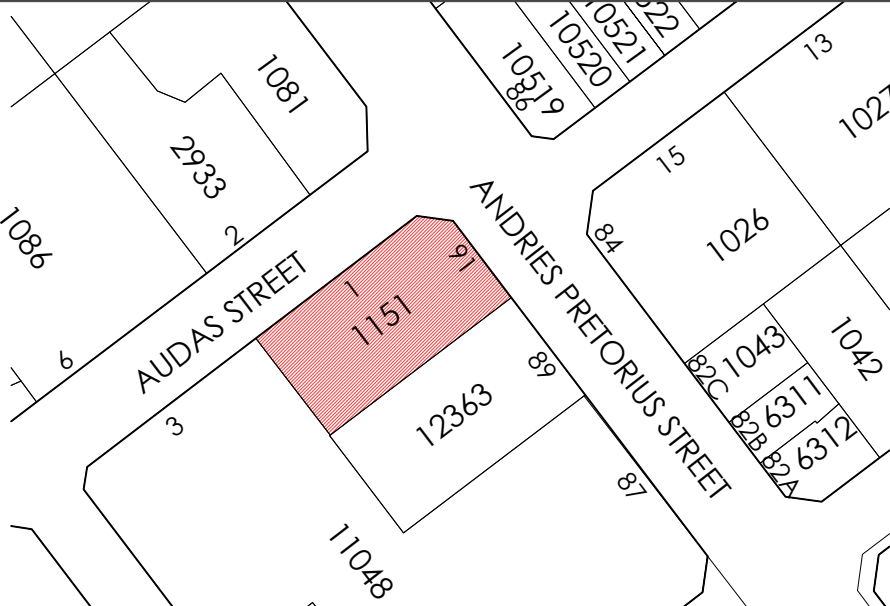
site plan

drawing | **council sub.**

these are municipal drawings only and may not be used as working drawings.

1 of 3

locality plan | scale 1:1000



general | take note:

Appointed as Architectural Professional to work stage 4.1 (documentation to achieve municipal approval only)  
No liability will be accepted for work during construction. Full liability and responsibility will be for the Owner or Builder

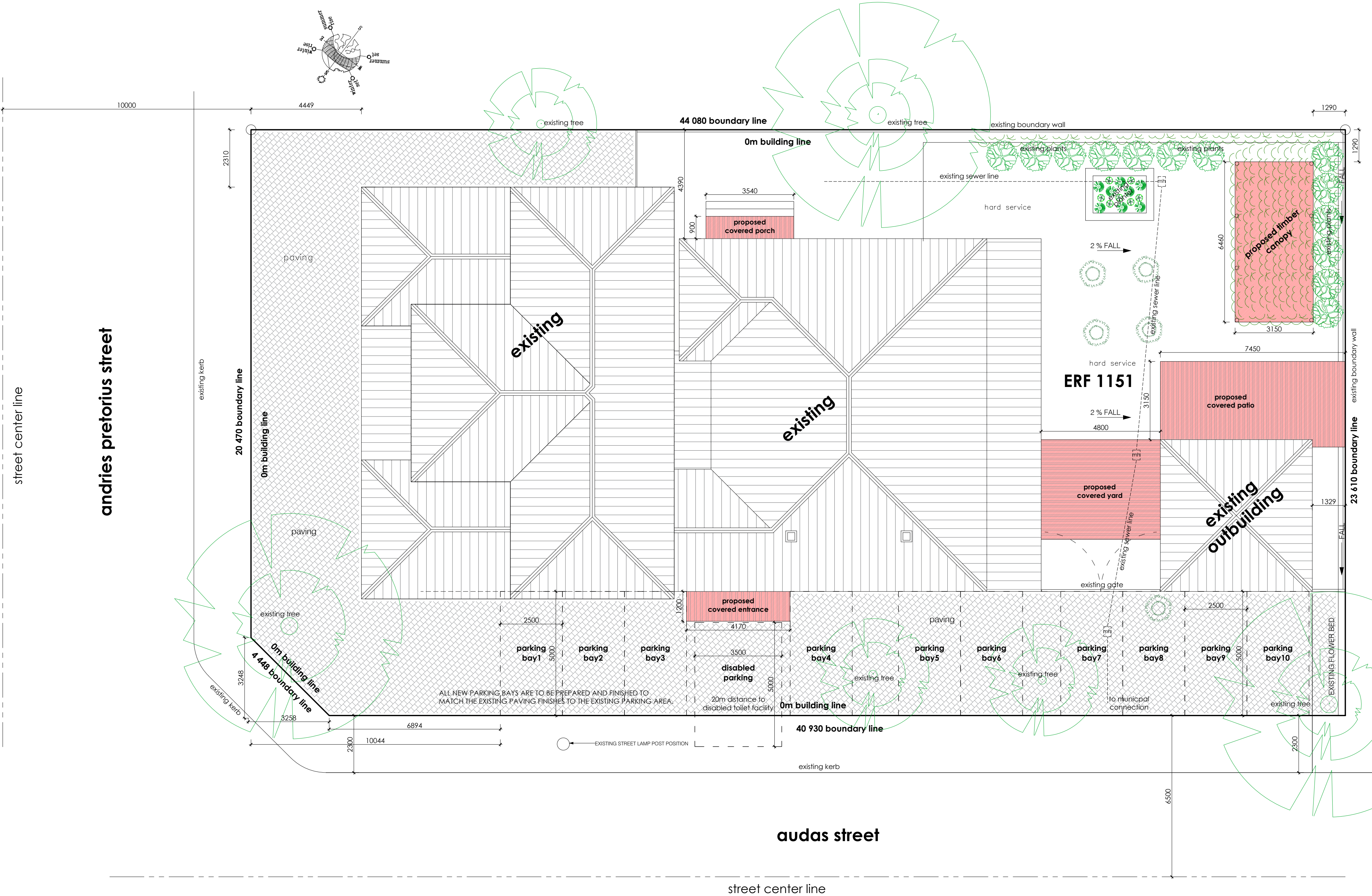
contractor to check and confirm all dimensions and levels prior to the setting out of the works.  
use figured dimensions, do not scale.

any discrepancies in dimensions or specs are to be reported to the designer immediately for clarification.  
setting out to be done from the surveyors pegs.  
all work to comply with SANS 10400 codes and local authority rules, regulations and requirements.  
this spec is intended to supplement the nbr and the nbr takes precedence.

specification | local authority

**linear foundations** foundations 750 x 300mm, 600 x 200mm slab thickening to internal 110mm walls unless otherwise specified by engineer, foundations not to project beyond boundaries, water to be taken away from foundations & towards roadside, depth and size to suit ground conditions.  
**foundation walls** foundation walls to have brickforce in every course, provide expansion joints as required.  
**column foundations** all foundations to engineer.  
**solid floors** 80mm concrete slab on 250 mic dpm lap joined, sealed and turned up around the perimeter of and for the full length of the slab on 50mm sand blinding on 150mm compacted fill.  
**walls** 280mm supporting wall with 50mm cavity, 115mm brickwork or equal approved with brickforce in every 5th course, stepped dpc to be provided to all external walls, all openings < 3000mm to have precast concrete lintels according to manufacturers spec ex. allied concrete or equal approved, all openings > 3000mm to have rc beams to engineer where deemed necessary.  
**doors** all external doors as per owner, all glazing to comply with requirements of sans 10400, access doors and side lights to have safety glass.  
**roof** [lean-to roof] charcoal sheeting at 3° on 75x50mm purlins at max. 1100mm c/c on isolation on 228x50mm timber rafters to specialist at max. 1000mm c/c, flashings and counter flashings to specialist, use timber grade 5, timbers built into walls to be adequately protected, isotherm to be provided to specialist contractor.  
**rainwater goods** 125x85mm seamless aluminium o-gee gutters into 100x75mm seamless aluminium square downpipes all in accordance with manufacturer or equal approved, all gutters, barge boards and downpipes to be painted charcoal to match roof sheeting.  
**doors** all internal timber doors to be panelled semi solid.  
**wall finishes** plastered & painted as per owner.  
**patios/courtyards** tiles/pavers (to owner) on waterproofing on screed.  
**internal walls** generally plastered with 1 coat plaster, skimmed & glaze coated, all colours to owner detail.  
**floor finishes** tiles, carpet or timber on screed.  
**natural ventilation** to comply with municipal regulations and sabs 0400 i.t.o min. 5% of floor area.  
**natural light** to comply with municipal regulations and sabs 0400 i.t.o. min 10% of floor area.

site plan | scale 1:100



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[illegible]

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drawn l f van dijk

checked I r bands

floor plans

drawing | **council sub.**

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**walls** 280mm supporting wall with 50mm cavity, 115mm brickwork or equal approved with brickface in every 5th course, stepped dpc to be provided to all external walls, all openings < 3000mm to have precast concrete lintels according to manufacturers spec ex. allied concrete or equal approved, all openings > 3000mm to have rc beams to engineer where deemed necessary

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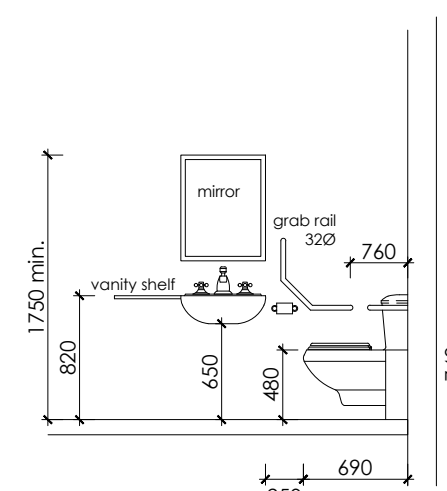
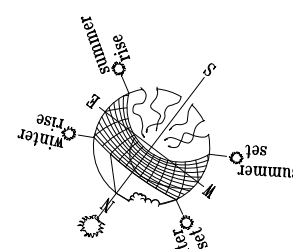
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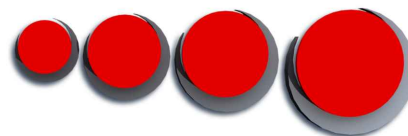
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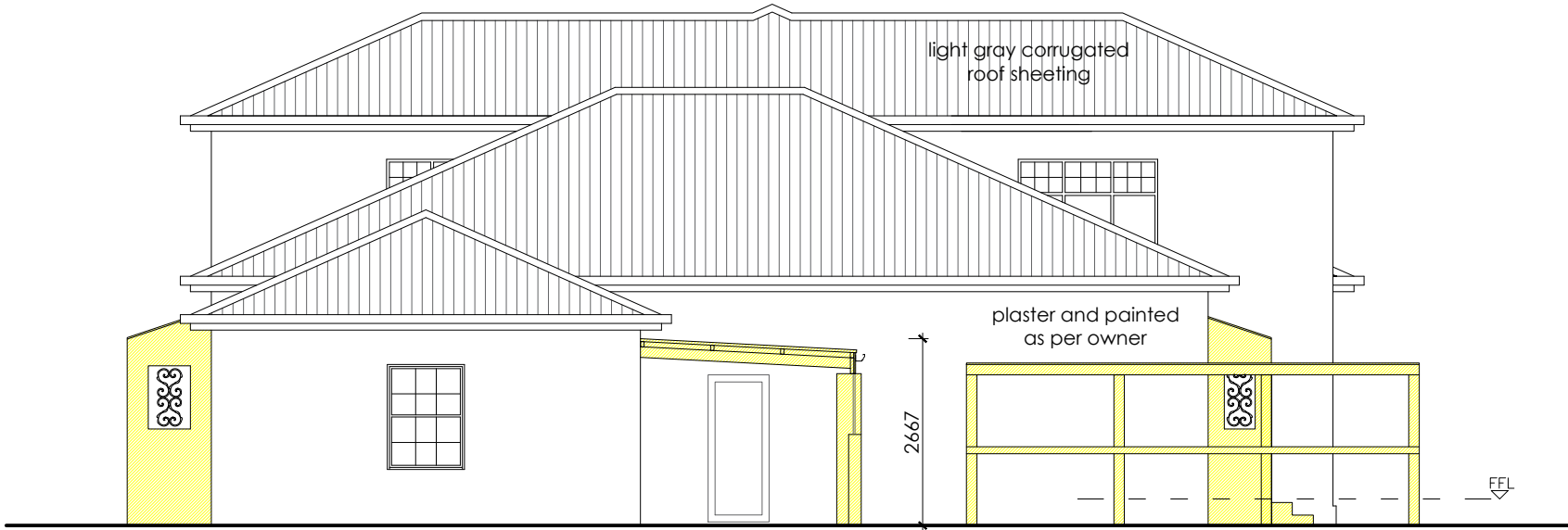
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elevations

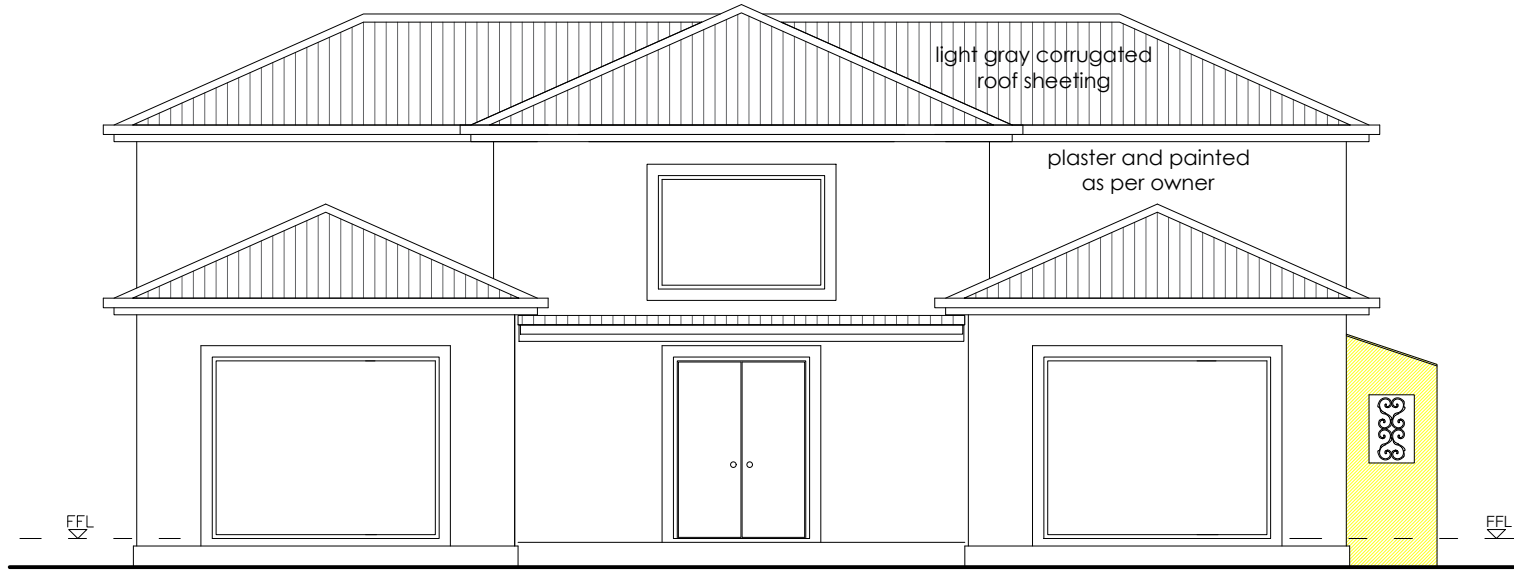
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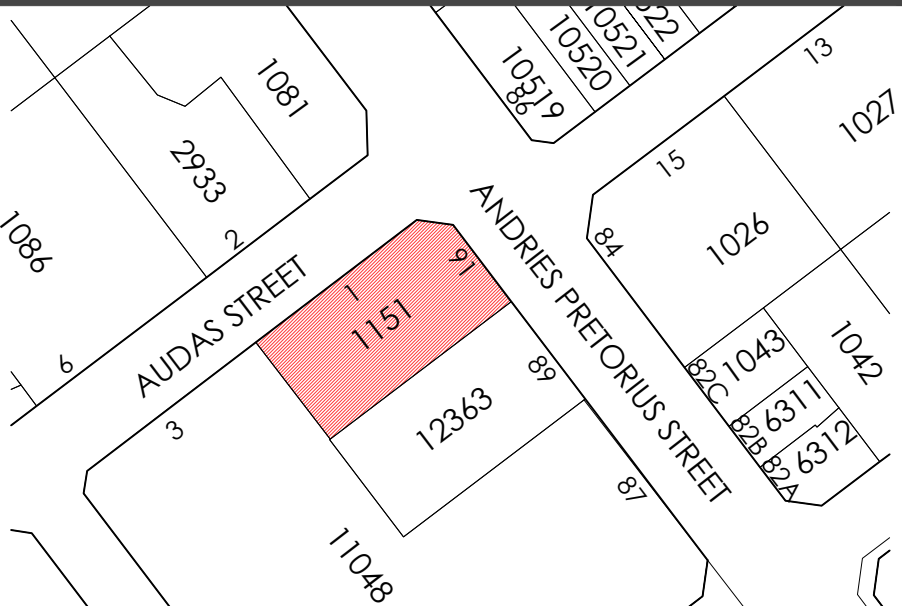


● south west elevation | scale 1:100



● north east elevation | scale 1:100

locality plan | scale 1:1000



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