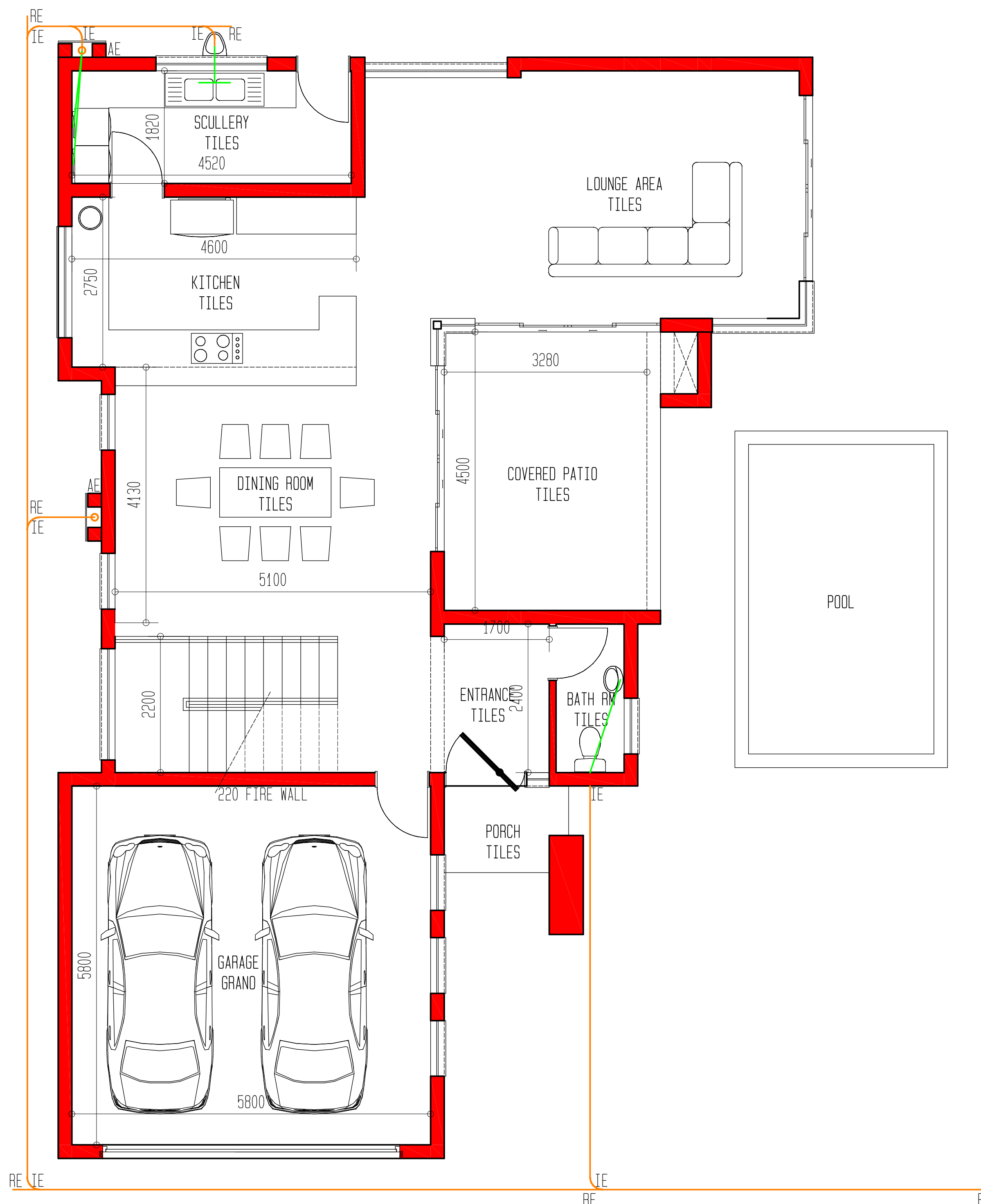




GENERAL NOTES TO ALL CONTRACTOR

GENERAL NOTES:

- All work to comply with SANS 10400 and Local Council requirements as well as all relevant specifications and codes.
- Figure dimensions to be taken in preference to scaling. Overall dimensions externally to take precedence over internal dimensions.
- All doors, levels and heights to be checked on site and any discrepancies to be reported to the architects before any work is put in hand.
- All concrete foundations to be a minimum of 650mm x 200mm unless shown otherwise.
- All concrete floor coverings to be a minimum of 25mm above natural ground level unless otherwise shown. Fire walls to underside of roof covering. Minimum 150mm concrete for fire doors.
- All doors to the exterior that open outwards to be a 15mm step up to the step on the inside of the door leaf, and those opening inward to have a 15mm step along the longitudinal centreline of the door leaf.
- The Contractor is responsible for obtaining all necessary local authorities and inspections and shall pay all fees in connection therewith.

DRAINAGE NOTE

- All plumbing work to be carried out by licensed Drainlayers and plumbers.
- Drains under buildings to be straight runs, adequately protected and with I.E.s at ends. Groundlevel waste pipes to be sleeved.
- All drains and waste pipes to be accessible, i.e. I.E.s have marked cover plates at concealed level. Rooding eyes to be provided where necessary.
- All soil pipes to be 110mm diameter glazed earthenware or PVC drains and to have a minimum slope of 1:60 (1.67%) from the building to the street below G.C.
- All waste pipes to be 50mm internal diameter. All waste fittings to have deep"V" recessed traps and to be fully accessible for repairs and cleaning.
- All vent pipes to extend to a minimum of 1.2m above the highest roofline exceeding 6m in height. S.V.P.s to all I.V.C.s having more than 120mm vertical clearance.
- All soil and waste fittings to be accessible along their entire length for maintenance.
- All vent pipes to be 50mm diameter and to be accessible along their entire length.
- H.S. or clearing eyes. A manhole to be provided within 1.2m of the stand bound.
- SINGLE STACK SYSTEMS: Waste pipes exceeding 6m in length, all vertical, horizontal drain bends to have centreline radius of minimum 500mm, all substacks and C.I. pipes to be 110mm diameter.

WATER PROOFING AND DAMP PROOFING

- 375 micron brickpolythylene D.P.C.
 - D.P.C.'s under all walls and screen walls to be 150mm above finished ground level
 - D.P.C.'s under all lifts, behind weather boards and under ridge lines. Vertical changes or breaks in D.P.C. must be sealed to be an approved waterproofing forming a continuous sealed membrane with the D.P.C.'s under walls. Flashings at all changes of roof levels and to chimneys. Impervious coatings to all parapets.
 - All roofwater to be carried to a stormwater drain.
 - WATERPROOFING TO ROOF SLATS: All waterproofing to roof slats to be "DERIBUM SP4" sheeting, all to be installed (including flashing and corner-flashing) strictly in accordance with manufacturer's instructions, with UBF bituminous paint on all surfaces and inspected unconditionally for ten years.
- #### NATURAL LIGHT AND GLAZING
- All habitable rooms to have a minimum 10% natural light.
 - All glazing to comply with part 1 of the N.B.S. and to AASB 3101-2000 Code of Practice for safety and leakage of windows and doors.
 - All aluminium doors and windows to conform to and to AASB 3101 A standards.
 - Minimum thickness of glazing panes: panes not exceeding 0.75m: 3mm thick, panes exceeding 0.75m: 4mm thick, panes exceeding 1.0m: 5mm thick, panes exceeding 1.5m: 6mm thick.

NATURAL LIGHT AND GLAZING

- All habitable rooms to have a minimum 10% natural light.
- All glazing to comply with part N of the N.B.R. and SABS 0137-2000 Code of Practice; safety and laminated glass to conform to SABS 1263.
- Aluminium doors and windows to conform to A.A.A.M.S.A. standards.
- Minimum thickness of glazing panes: panes not exceeding 0,75sq.m=3mm thick, panes not exceeding 1,5sq.m=4mm thick, panes exceeding 1,5sq.m=6mm thick.
- Safety glass to window panes lower than 300mm from finished floor level.

STAIRS

- STAIRS**
 • Stair treads to be 250mm minimum, stair risers to be 220mm maximum. Balustrade heights to be 1000mm minimum. Baluster openings to be 100mm maximum.
- PARTITIONS AND CEILINGS**
- Dry wall partitions and suspended ceilings to comply with R1411 and Section B of SABS Test Method 419. Drywall cladding to be 12.7mm, "x" rated gypsum board.
 - Drywall ceilings to be 6mm gypsum board. External dry wall cladding to be 6mm gypsum cement boarding. 30mm Acroline insulation to be provided inside all external drywall cladding between ceilings and roof framing material.
 - Dry wall cladding and ceilings to balustrades to be 6mm fibre cement boarding.
- WATERPROOFING TO ROOF SLABS**
- All waterproofing to roof slabs to be "Deriburg SP4" sheeting, all of which is to be laid (including flashing and corner-flashing) strictly in accordance with the manufacturer's instructions, with UEB blum-paint applied to all exposed surfaces. Exposed surfaces to be maintained unconditionally.

ELECTRICAL

ELECTRICAL
All electrical reticulation shall be done by a registered electrician. A COMPLIANCE CERTIFICATE MUST BE ISSUED UPON COMPLETION OF THE INSTALLATION. The electrical installation shall have a "Heinemann" earth leakage system in the distribution board.

LEGEND TO ABBREVIATIONS AND SYMBOLS

U.F.L. 0.000 indicates "UNFINISHED FLOOR LEVEL" bed or slab (without topping or screed)

ELECTRICAL LEGEND

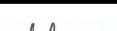
ELECTRICAL LEGEND

	Footlight		Double Plug Point
	220 Recessed Downlighter		Single Plug Point
	Low Voltage Recessed Downlighter		Isolator Switch
	Low Voltage Adjustable Recessed		Light Switch
	Low Voltage Startlight		Dimmer Switch
	Internal Wall Light		2 Way Switch
	External Wall Light		Telephone Point
	Brawl light		TVI Point
	Spoke Light (Garden)		Intercom
	Floodlight		Distribution Board
	Fluorescent Light		Geyser
	High Bay Light		
	Calling Surface Point		

SIGNATURES

PROPERTY OWNER / AUTHORIZED _____ DATE _____

PROPERTY OWNER AUTHORIZED _____ DATE _____



G COSSUTTI (Architect) (Pr. Arch. Tech. 749) 28/06/2016
GIULIO COSSUTTI PLANNING & DESIGN
CELL.: +27742940050 **DATE**


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28/06/2016
DATE

THIS DRAWING IS NOT TO BE SCALED. ONLY FIGURED DIMENSIONS ARE TO BE FOLLOWED. CONTRACTORS ARE TO CHECK ALL DIMENSIONS AND LEVELS BEFORE ANY WORK COMMENCES AND TO REFER ANY APPARENT DISCREPANCY TO THE ARCHITECTS.
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DRAWING / PROJECT DETAILS

**PROPOSED NEW RESIDENCE
THE OWNER
STAND 1536
LA COMO / CLEARWATER ESTATE
PARKHAVEN EXT. 8. EKHURELENI**



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ARCHITECTURAL & STRUCTURAL ENGINEERS CONSULTANTS

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LC1536-100			00
SCALE			DATE
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