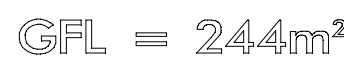
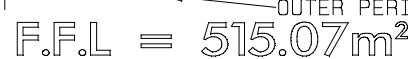
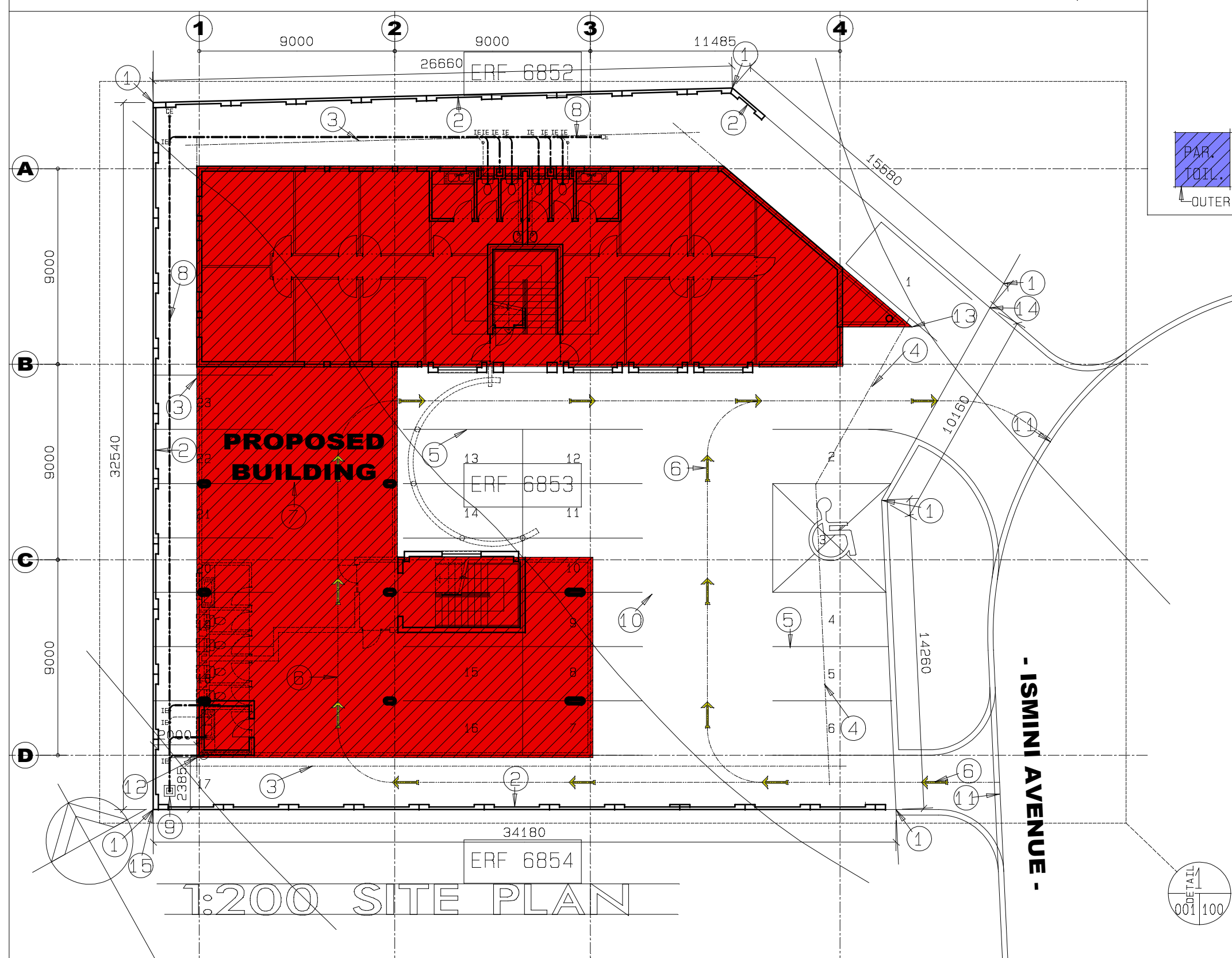

$$F.F.L = 465m^2$$


TOTAL = 709M²



BUILDING AREA CALCULATION

SITE PLAN INFO

SITE PLAN INFORMATION

1. SITE BOUNDARY TO LAND SURVEYOR'S PEGS
2. BOUNDARY WALL 1,8MH WITH 920MM BRICK COLUMNS AND 10MM EXPANSION JOINTS IN EACH COLUMN
3. BUILDING LINE 2M FROM SITE BOUNDARY
4. BUILDING LINE 3M FROM SITE BOUNDARY
5. PARKING TO 2,5M X 5,5 DIMENSION PAINTED ON INTERLOCKING PAVING
6. PARKING FLOW DEMARCATION PAINTED ON INTERLOCKING PAVING
7. PROPOSED BUILDING IN POSITION ON SITE
8. SEWERAGE LAY-OUT
9. SEWERAGE CONNECTION POINT
10. PAVING TO SPECIFICATION
11. PAVING TO STREET LEVEL
12. SETTING OUT POINT
13. LEVEL. BUILDING DATUM LEVEL TO BE 2 BRICK COURSES ABOVE HIGHEST LEVEL ON SITE
14. HIGHEST LEVEL ON SITE
15. LOWEST LEVEL ON SITE.

STORMWATER
PROVISION OF WEEPHOLES
EVERY 6M C/C ON NATURAL
GROUND LEVEL SHOULD BOUNDARY
WALL BE CONSTRUCTED

FIRE WALLS
TO BE BUILD SOLIDLY UP TO
UNDERSIDE OF ROOF CLADDING
AND MORTAR SEALED TO SMOOTH
FINISH

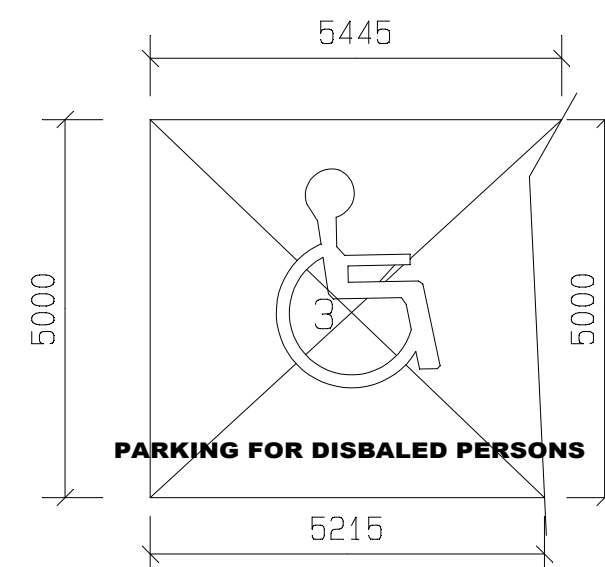
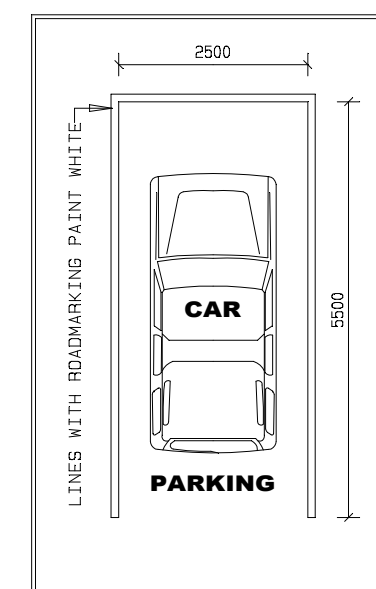
FIRE DOORS
TO BE CLASS 'B' SOLID
WITH RELEVANT FIRE RESISTANCE
AS PER FIRE SANS 0400

PARKING & RAMPS
ONE PARKING DIMENSION
2,5M X 5,5M MIN
VEHICULAR RAMP 1:10
PEDESTRIAN RAMP 1:12

DISABLED FACILITIES
TOILET WITH WHEELCHAIR
ACCESS, RAMP AND RAILS
TO BE PROVIDED

STRUCTURAL STEEL & CONCRETE
TO BE DESIGNED AND DOCUMENTED
BY ENGINEER AND DOCUMENTATION
TO FORM PART OF ARCHITECTURAL
DOCUMENTATION

ELECTRICAL
ELECTRICAL LOADS AND
EQUIPMENT TO BE DESIGNED
BY ENGINEER AND DOCUMENTATION
TO FORM PART OF ARCHITECTURAL
DOCUMENTATION






SITE CONTROL FACTOR

STAND No	6853 - ISMINI	
AREA OF SITE	1123m ²	
ZONING	SPECIAL	
OCCUPATION CLASSIFICATION G1	OFFICE	
COVERAGE ALLOWED	50% = 561m ²	
COVERAGE UTILISED	45.9% = 515,07m ²	
BUILDING AREAS:		
GROUND FLOOR	292.54M ²	
FIRST FLOOR	515,07M ²	
TOTAL BUILDING AREA	807.61M ²	
GROSS LETTABLE FLOOR AREA		
GROUND FLOOR	244M ²	
FIRST FLOOR	465M ²	
TOTAL G.L.F.A	709M ²	
PARKING	REQUIRED	PROVIDED
G.L.F.A. = 709m ²	3/100=21	23
PARKING FOR DISABLED PERSONS	1	1 OF 23
F.A.R.	REQUIRED	PROVIDED
810m ² BUILDING/1123m ² SITE	0.7	0.7

TOTAL BUILDING AREA 808M²

FIRE PROTECTION REQUIREMENTS - SECTION "T" SA-NBR

SPRINKLER SYSTEM	N/A
FIRE HYDRANTS 	808m ² @1/1000m ² =0
FIRE HOSE REELS 	808m ² @1/500m ² =2
PORTABLE FIRE EX. ● 	808m ² @1/100m ² =9
OCCUPATION CLASSIFICATION	G1 - OFFICE
FIRE DETECTION SYSTEM	N/A






[illegible]

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL LEVELS, HEIGHTS & DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.
2. LARGE SCALE DRAWINGS ENJOY PREFERENCE OVER SMALL SCALE DRAWINGS.
3. DO NOT SCALE DRAWINGS, DIMENSIONS ONLY TO BE USED.
4. ADC ACCEPTS NO RESPONSIBILITY FOR ANY WORK TO BE ERECTED ON EXISTING FOUNDATIONS.
5. DAMAGE TO UNKNOWN SERVICES.
THE CONTRACTOR'S LIABILITY WHEN HE ENCOUNTERS UNKNOWN SERVICES IS TO NOTIFY THE ADC IMMEDIATELY THEREOF AND TO SUSPEND ALL AFFECTED WORK IN THE IMMEDIATE VICINITY UNTIL WRITTEN INSTRUCTION TO PROCEED HAS BEEN GIVEN BY THE ADC.

6. IF ANY PARTICULARS AND MEANING OF THE DESCRIPTION OF ANY ITEM IS NOT CLEAR OR IS AMBIGUOUS, INDISTINCT OR CAUSE CONFUSION AS TO THEIR MEANING OR IF ANY OBVIOUS ERRORS OCCUR ON THE DRAWINGS, THE CONTRACTOR MUST INFORM ADC IMMEDIATELY AND HAVE THE ERROR CORRECTED OR EXPLAINED AS THE CASE MAY BE.
7. CONTRACTOR TO CONFIRM ELECTRICAL LAY-OUT AND LIGHT FITTING TYPES WITH CLIENT PRIOR TO COMMENCEMENT OF ANY BUILDING WORK.
8. COPY RIGHT RESERVED BY ADC.
9. SPECIALIST ROOF CONTRACTOR RESPONSIBLE FOR DESIGN AND SUPPLY OF ROOF CONSTRUCTION.

SEWER NOTES:

- | | | |
|----|---|--|
| S1 |  | 110mmØ UPVC STUB SOIL, VENT & CE. |
| S2 |  | 110mmØ UPVC SOIL PIPE. FALL 1:40 |
| S3 |  | 50mmØ UPVC WASTE PIPE TO DISCHARGE
INTO DISHED GULLEY |
| S4 |  | CONCRETE DISHED GULLEY WITH
COVER APPROVED BY CLIENT |
| S5 |  | FLOW DIRECTION AND FALL 1:40 |

NOTE :
FINAL SEWER DEPTH AND INVERTED LEVEL
TO BE DETERMINED ON SITE IN ACCORDANCE
WITH SLOPE AND GROUND FORMATION.

ALL BUILDING TRADES WILL BE CARRIED OUT IN ACCORDANCE
WITH THE FOLLOWING SABS CODES AND STANDARDS:

- A. SABS 0100 - STRUCTURAL CONCRETE
- B. SABS 0104 - HANDRAILS
- C. SABS 0137 - GLAZING
- D. SABS 0161 - FOUNDATIONS
- E. SABS 0162 - STRUCTURAL STEEL
- F. SABS 0163 - STRUCTURAL TIMBER
- G. SABS 0164 - STRUCTURAL MASONRY

CLIENT'S SIGNATURE OF APPROVAL

NAME:

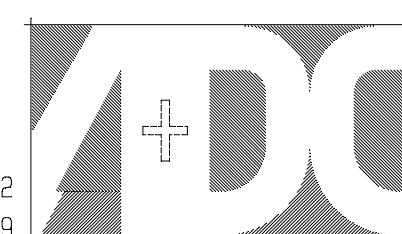
SIGNATURE:

DATE:

ARCHITECTURAL DESIGN & DEVELOPMENT CONSULTANTS

P.O. BOX 1018
POLOKWANE
0699

TEL: 015 - 297 4572
FAX: 015 - 297 6759
E-MAIL: adc2000@mweb



PROJECT TITLE
**PROPOSED BUILDING
ON ERF 6853 ISMINI OFFICE PARK
POLOKWANE**

DESIGN ----- **RIAAN DU PREEZ**
PrSnrArchT. SACAP.LIA (ST0384)
MEMBER:
LIMPOPO INSTITUTE FOR ARCHITECTURE
No. 0048

DRAWING DIVISION ANDRIES PIETERSE

PROJECT No 409		DRG No 001		REV 0
SCALE 1:200	DATE 29 Oct 2014	DRAWN R. D. P. A. P.		CHECKED R. D. P.

ENQUIRY - R. DU PREEZ
MOBILE - 082 2586 780